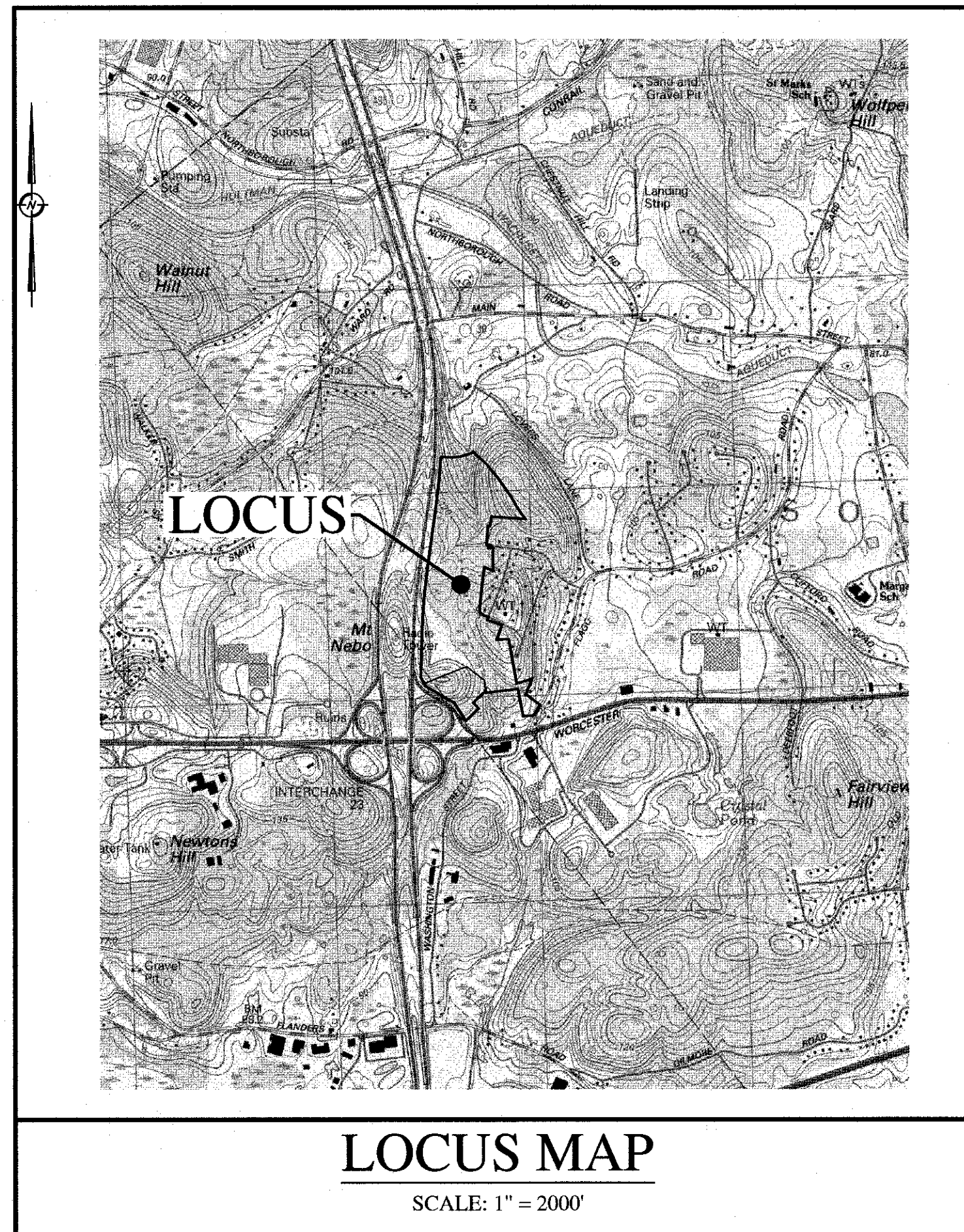




COMPREHENSIVE PERMIT PLANS

Pursuant to Notice of Decision on a use Variance, Town of Southborough Board of Appeals

FOR

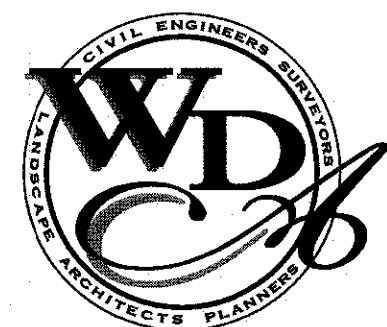
PARK CENTRAL

IN

Southborough, Massachusetts (Worcester)

NOVEMBER 4, 2015

PREPARED BY:



WATERMAN DESIGN
ASSOCIATES, INC.

31 East Main Street
Westborough, MA 01581

508.366.6552
508.366.6506 (FAX)
WATERMANDESIGN.COM WDA@WDASSOC.COM

OWNER:

PARK CENTRAL LLC
259 Turnpike Road Suite 100
Southborough, Massachusetts 01772

PREPARED FOR:

CAPITAL GROUP
PROPERTIES, LLC
259 Turnpike Road Suite 100
Southborough, Massachusetts 01772

SHEET LIST:

C1.00-C1.08	EXISTING CONDITIONS PLANS
C2.00-C2.06	LAYOUT AND MATERIAL PLANS
C3.00-C3.06	GRADING AND DRAINAGE PLANS
C4.00-C4.06	UTILITY PLANS
C5.00-C5.06	PLANTING AND LIGHTING PLANS
C6.00-C6.06	SITE DETAILS

PARK CENTRAL LLC
C/O CAPITAL GROUP PROPERTIES
295 TURNPIKE ROAD, SUITE 100
SOUTHBOROUGH, MA 01772

MAP 24 PARCEL 3
MAP 25 PARCEL 5
MAP 33 PARCEL 4
MAP 41 PARCEL 4A

DEED BOOK 51568 PAGE 81

FLOOD INSURANCE RATE MAP NUMBERS
25027C 0662F & 25027C 0666F
EFFECTIVE JULY 16, 2014

ID - INDUSTRIAL DISTRICT

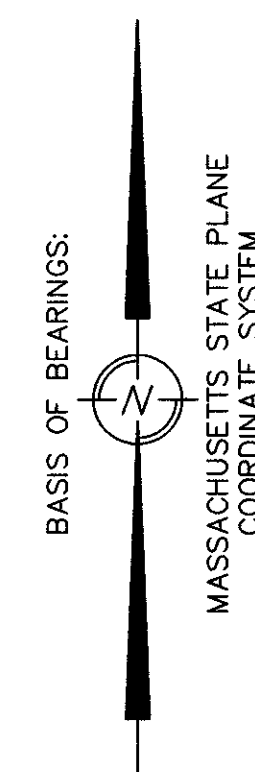
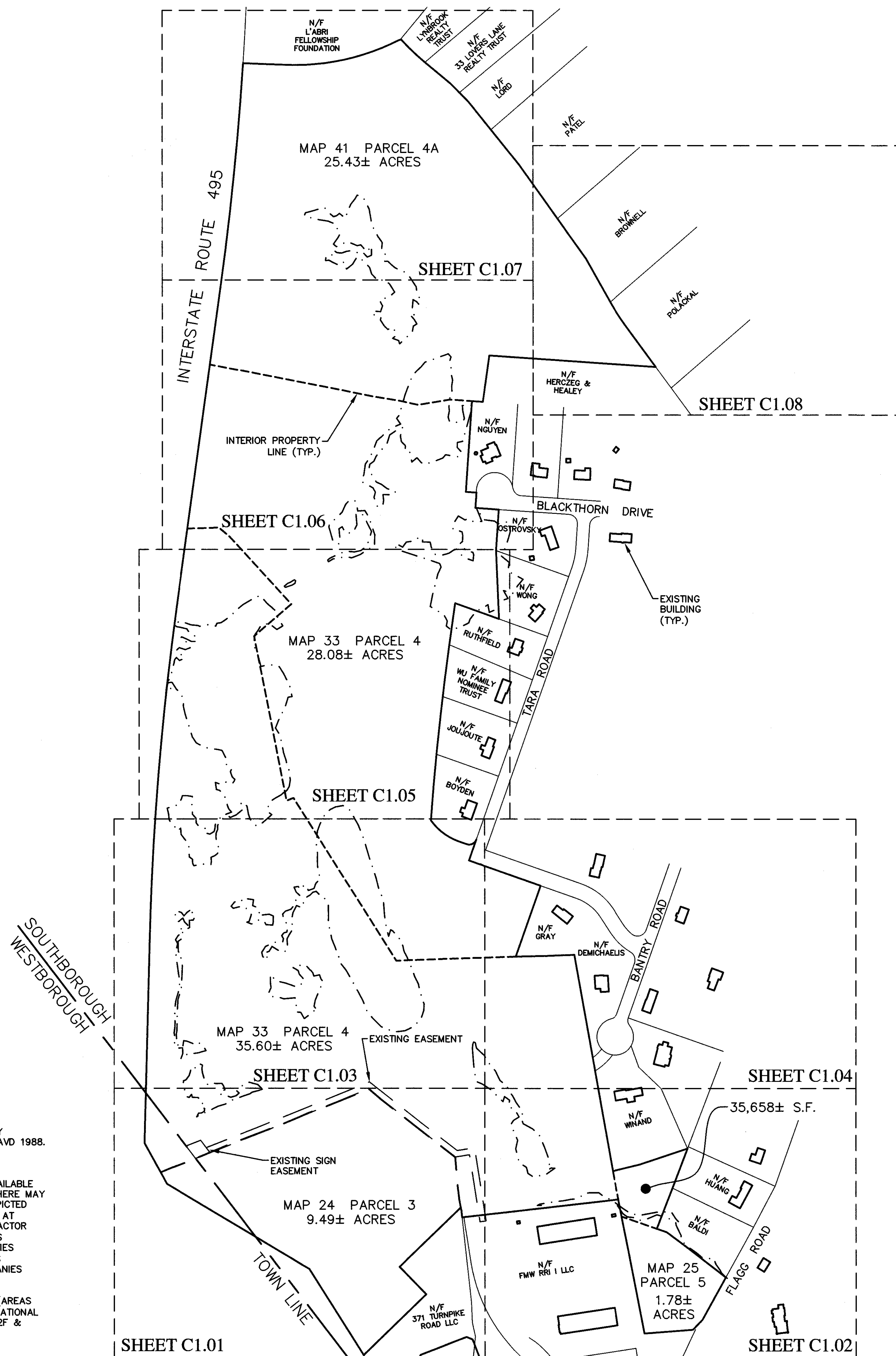
MINIMUM LOT AREA:	43,560 S.F.
MINIMUM LOT FRONTAGE:	200 FEET
MINIMUM FRONT YARD:	*50 FEET
MINIMUM OTHER STREET:	*25 FEET
MINIMUM SIDE YARD:	50 FEET
MINIMUM REAR YARD:	50 FEET
MAXIMUM BUILDING HEIGHT:	45 FEET
MAXIMUM BUILDING STORIES:	3
MAXIMUM FLOOR AREA RATIO:	.60

IP – INDUSTRIAL PARK DISTRICT

MINIMUM LOT AREA:	43,560 S.F.
MINIMUM LOT FRONTAGE:	200 FEET
MINIMUM FRONT YARD:	*50 FEET
MINIMUM OTHER STREET:	50 FEET
MINIMUM SIDE YARD:	50 FEET
MINIMUM REAR YARD:	50 FEET
MAXIMUM BUILDING HEIGHT:	45 FEET
MAXIMUM BUILDING STORIES:	3
MAXIMUM FLOOR AREA RATIO:	.60

*INCREASE BY (50%) IF ABUTTING
WORCESTER TURNPIKE, ROUTE 9

1. EXISTING CONDITIONS INFORMATION IS TAKEN FROM ELECTRONIC FILES SUPPLIED BY CONNORSTONE ENGINEERING, INC., NORTHBOROUGH, MA. ELEVATIONS REFER TO NAVD 1988.
2. WETLAND FLAGS/LIMITS SURVEY LOCATED BY WATERMAN DESIGN ASSOCIATES.
3. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES PRESENT AT THE SITE THAT ARE NOT DEPICTED HEREON. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY DEPARTMENTS / COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
4. NO APPROXIMATE LIMITS OF ZONE A (AREAS OF 100-YEAR FLOOD) AND ZONE C (AREAS OF MINIMAL FLOODING) EXIST WITHIN THE SUBJECT PARCELS AS COMPILED FROM NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBERS 25027C 06B2F & 25027C 06B6F, EFFECTIVE JULY 16, 2014.
5. WETLANDS DELINEATED BY GODDARD CONSULTING, LLC.

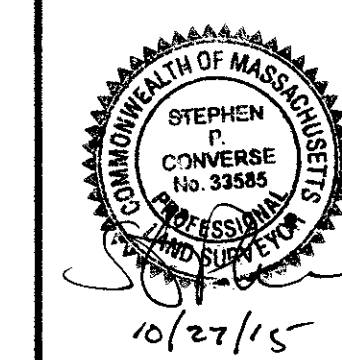


DESCRIPTION	EXISTING
APPROX. BOUNDARY OF BORDERING VEGETATED WETLANDS	ABBVW.
BOUNDARY OF BORDERING VEGETATED WETLANDS	BBVW
BRUSH LINE	
BUILDING	
CATCH BASIN	
CHAIN LINK FENCE	-X-X-
CONCRETE BOUND W/DRILL HOLE	CB/DH
CONTOUR LINE	410
CORRUGATED METAL PIPE	CMP
CURBING	
DECIDUOUS TREE	
DRAIN MANHOLE/RAIN LINE	-D-D-
DRILL HOLE	DH
EDGE OF PAVEMENT	- - -
FLARED END	FES
FOUND	(FND.)
HYDRANT/WATER LINE	-W-W-
INVERT	INV.
IRON PIPE	IP
LAND COURT BOUND	LCB
LAND COURT DISC	LCD
LIGHT POLE	
NOT TO SCALE	N.T.S.
NOW OR FORMERLY	N/F
PLUS OR MINUS	±
REINFORCED CONCRETE PIPE	RCP
RETAINING WALL	
SIGN	-S
SPOT ELEVATION	X 419.3
SQUARE FEET	S.F.
STONE BOUND W/LEAD PLUG	SB/LP
STONE WALL	
TREELINE	
UTILITY POLE	
WATER	
WETLAND FLAG	X WF D38
WETLANDS	
WETLANDS 100' BUFFER ZONE	100' BVW BZ

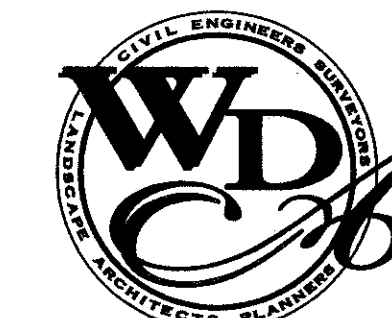
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A		INITIAL ISSUE	
REV.	DATE	DESCRIPTION	APPT



PREPARED BY:



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Southborough, MA 01772

PREPARED FOR:

CAPITAL GROUP
PROPERTIES LLC

295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE:

EXISTING CONDITIONS
INDEX PLAN

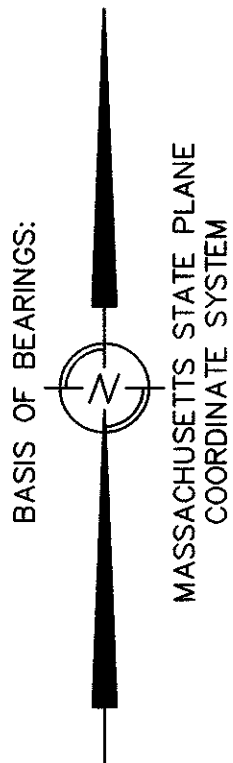
PARK CENTRAL

Southborough, MA
(Middlesex County)



DATE: 10/27/15		SCALE: 1" = 200'	
JOB NO.:		RSCH. BY: SPC	
0978.00		FIELD BY: SPC/JRZ	
FILE NO.:		CALC. BY: SPC	
0978001		DWN. BY: JRZ	
DRAWING NO.:		CHK'D. BY: SPC	
0978002A		SHEET:	
		C1.00	

INTERSTATE ROUTE 495



MATCH LINE SHEET 1.03

35.60± ACRES

35.60± ACRES

TOWN LINE

TOWN OF SOUTHBOROUGH
TOWN OF WESTBOROUGH

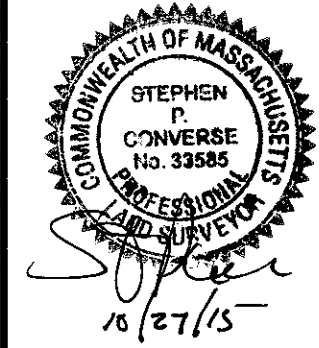
9.49± ACRES

20' WIDE EASEMENT

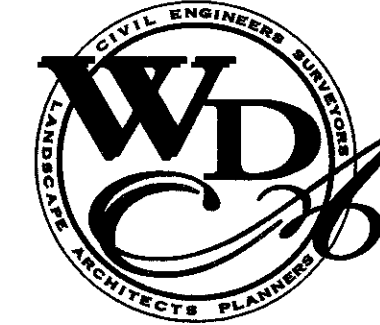
MATCH LINE SHEET 1.02

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EXISTING CONDITIONS PLAN

PARK CENTRAL

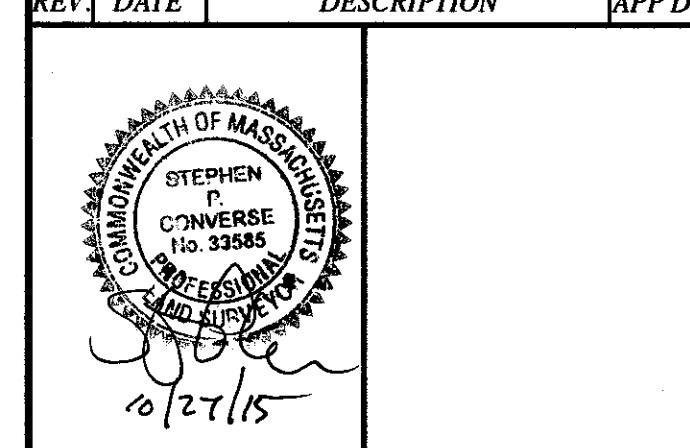
Southborough, MA
(Middlesex County)

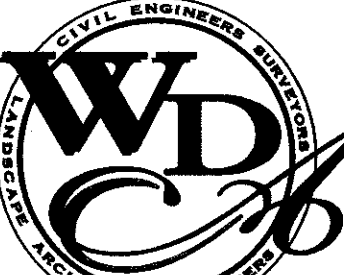
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DRAWING NO.:	0978003A	CALC. BY:	SPC
		DWN. BY:	JRZ
		CHK'D BY:	SPC
		SHEET:	C1.01



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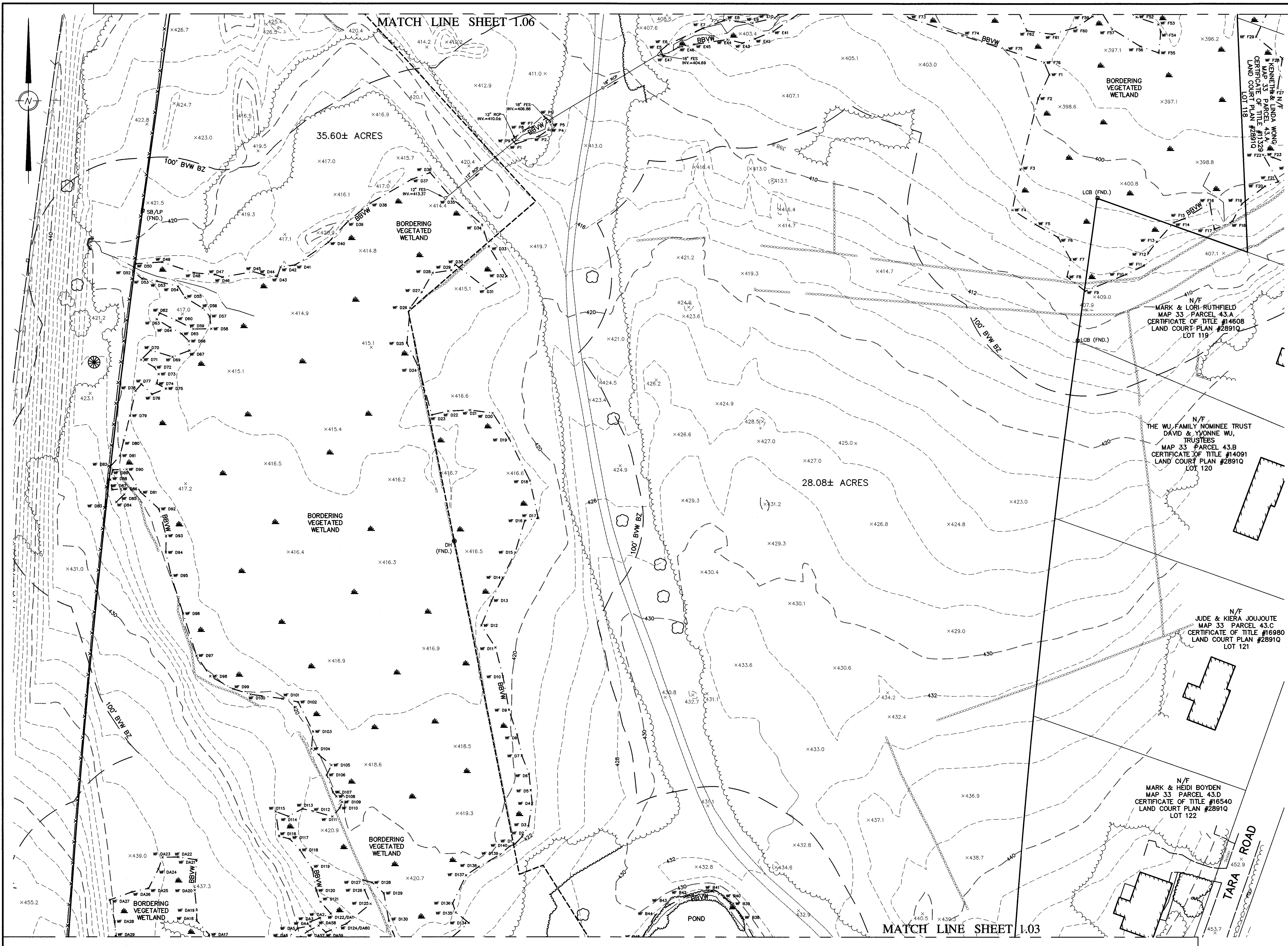
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TITLE:
EXISTING CONDITIONS PLAN
PARK CENTRAL
Southborough, MA
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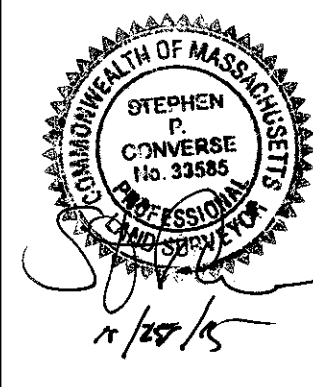
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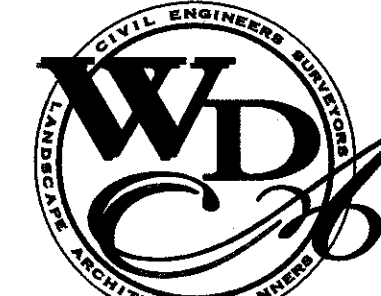
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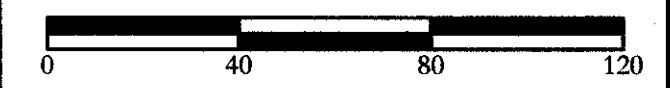
295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE:

EXISTING CONDITIONS PLAN

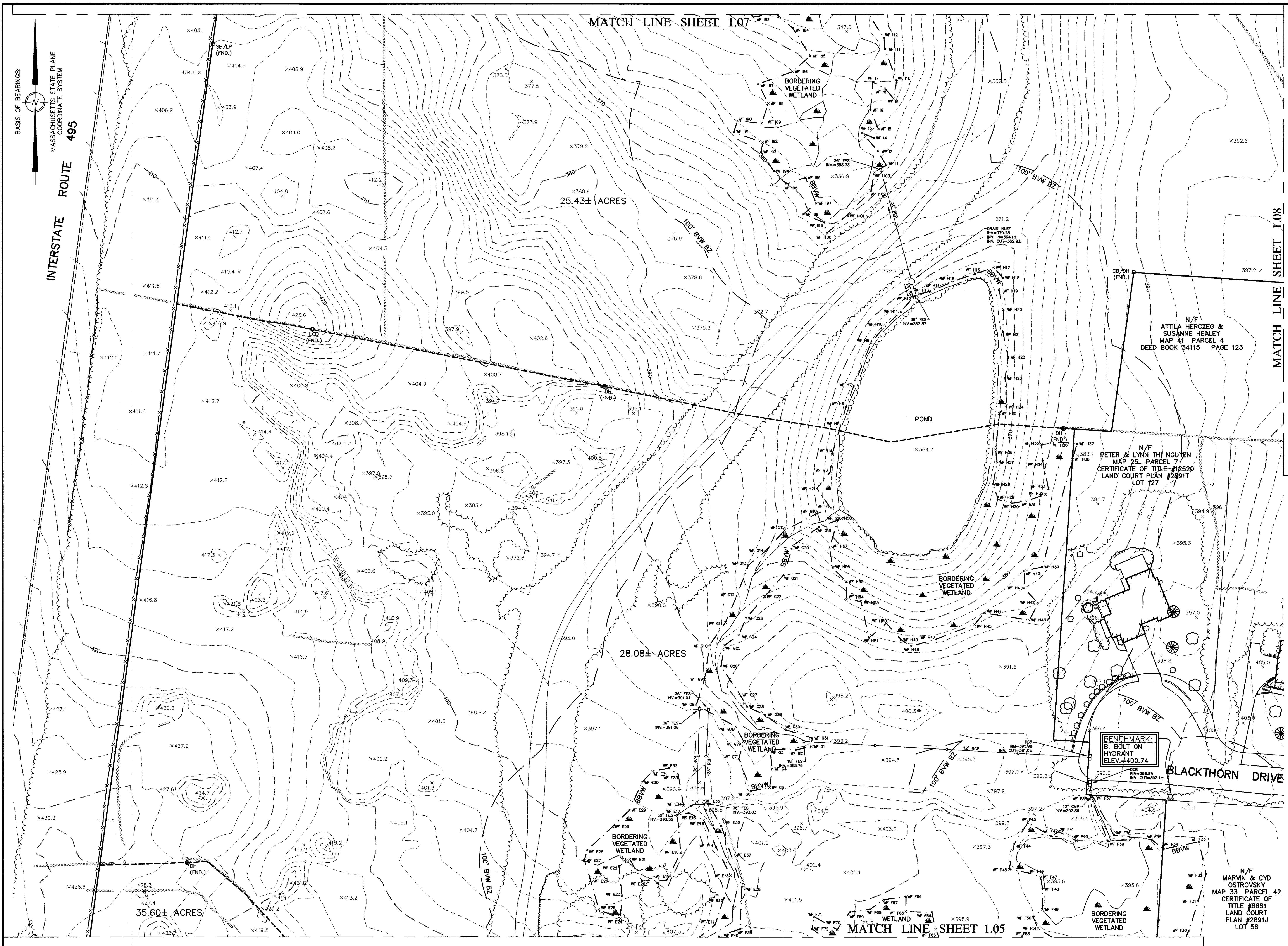
PARK CENTRAL

Southborough, MA
(Middlesex County)



DATE: 10/27/15		SCALE: 1" = 40'	
JOB NO.: 0978.00		RSCH. BY: SPC	FIELD BY: SPC/JRZ
FILE NO.: 0978001		CALC. BY: SPC	
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		SHEET:	

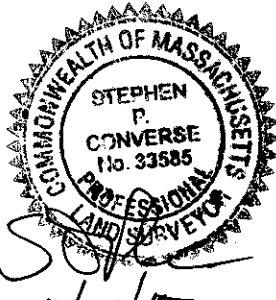
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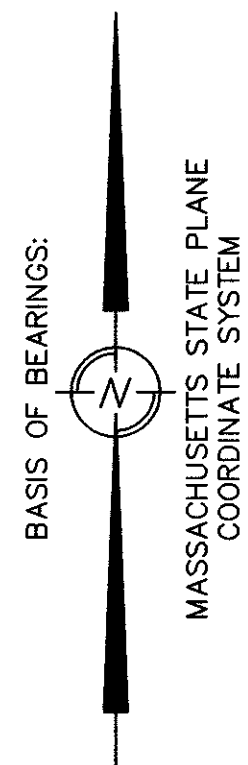
EXISTING CONDITIONS PLAN
PARK CENTRAL
Southborough, MA
(Middlesex County)

DATE: 10/27/15 SCALE: 1" = 40'

JOB NO.: 097800 RSCH. BY: SPC FIELD BY: SPC/JRZ

FILE NO.: 0978001 CALC. BY: SPC DWN. BY: JRZ

DRAWING NO.: 0978008A CHK'D. BY: SPC SHEET: C1.06



INTERSTATE ROUTE 495

N/F
L'ABRI FELLOWSHIP FOUNDATION
MAP 50 PARCEL 39
DEED BOOK 8041 PAGE 364

N/F
THE LYNBROOK REALTY TRUST
CHRISTOPHER CHRISTOPHER, TRUSTEE
MAP 41 PARCEL 29
DEED BOOK 16193 PAGE 15

N/F
THE 33 LOVERS LANE REALTY TRUST
JOHN & PAULINE RATHKE, TRUSTEES
MAP 41 PARCEL 18
DEED BOOK 34238 PAGE 348

N/F
MARK & BARBARA LORD
MAP 41 PARCEL 19
DEED BOOK 18978 PAGE 29

N/F
BIMAL & JAYSHRI PATEL
MAP 41 PARCEL 21
DEED BOOK 18674 PAGE 311

NOT EVALUATED FOR WETLAND RESOURCE AREAS
LIMIT OF RESOURCE DELINEATION

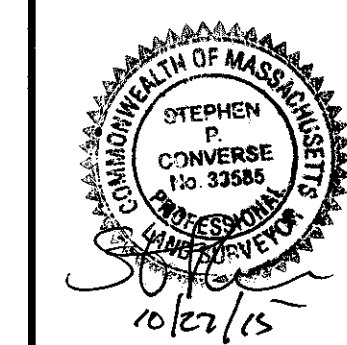
NOT EVALUATED FOR WETLAND RESOURCE AREAS
LIMIT OF RESOURCE DELINEATION

MATCH LINE SHEET 1.06

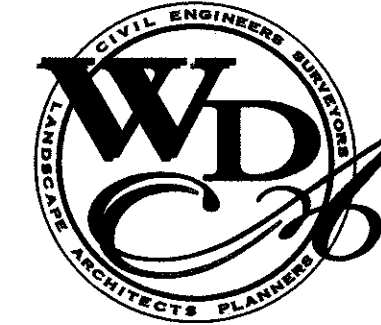
MATCH LINE SHEET 1.08

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Southborough, MA
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JOB NO.:	097800	RSCH. BY: SPC	FIELD BY: SPC/JRZ
FILE NO.:	0978001	CALC. BY: SPC	DWN. BY: JRZ
DRAWING NO.:	0978009A	CHK'D. BY: SPC	SHEET: C1.07

BASIS OF BEARINGS:



MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM

N/F
NINAN & ELIZABETH POLACKAL
MAP 41 PARCEL 26
DEED BOOK 49131 PAGE 202

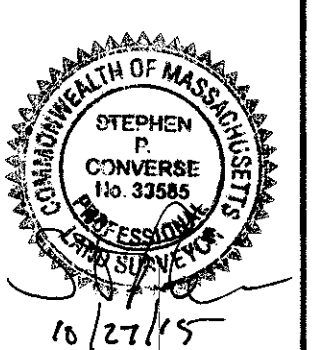
MATCH LINE SHEET 1.07

MATCH LINE SHEET 1.06

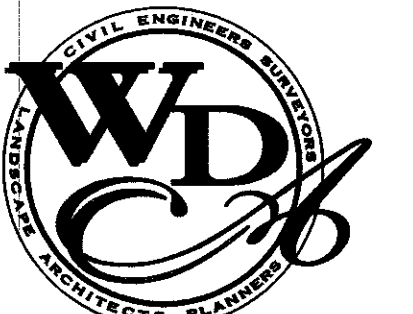
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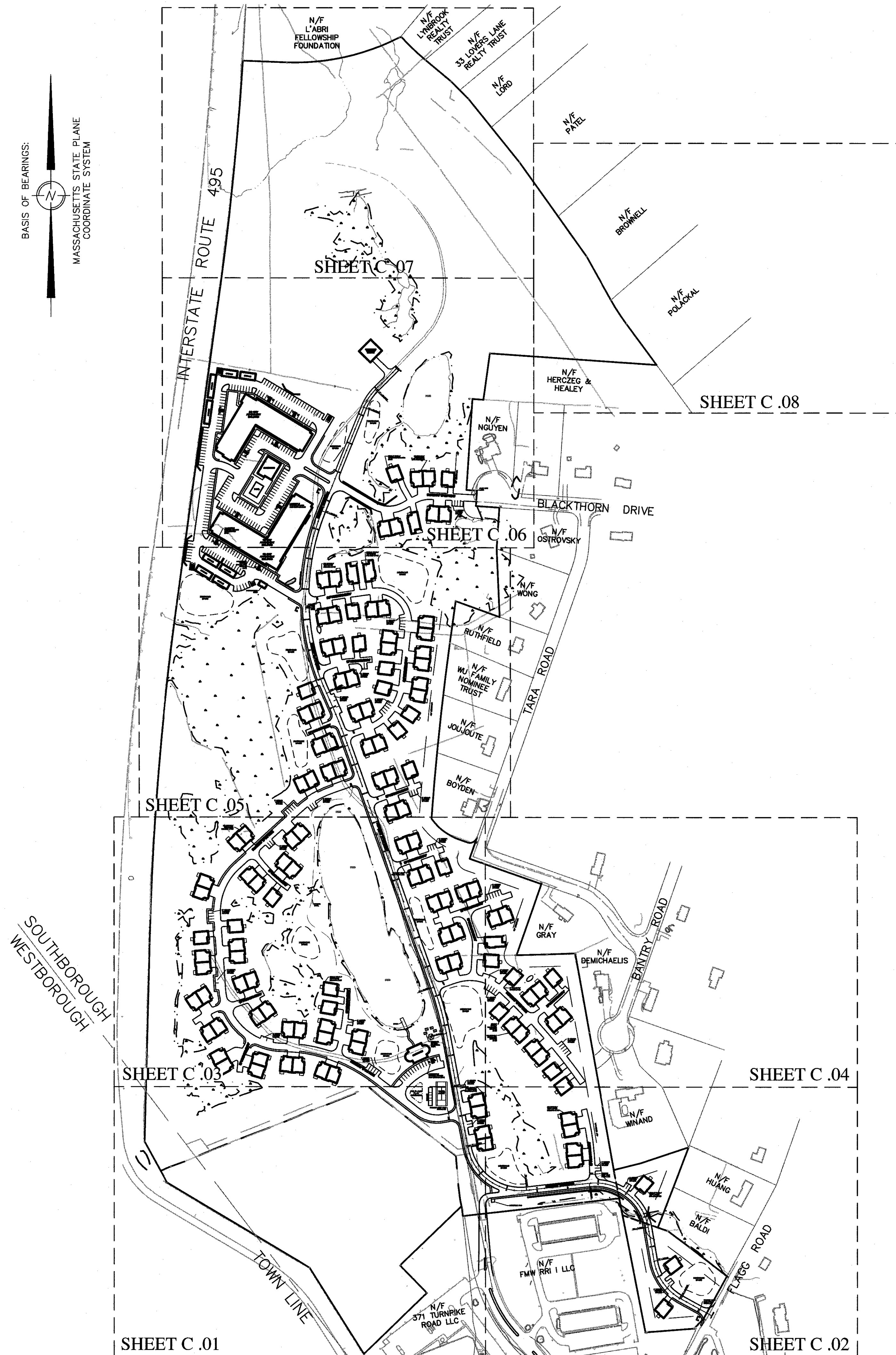


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FILE NO.:		CALC. BY:	SPC
	0978001	DWN. BY:	JRZ
		CHK'D. BY:	SPC
DRAWING NO.:		SHEET:	
	0978010A		C1.08

DEVELOPMENT IS SUBJECT TO THE NOTICE OF DECISION ON A USE VARIANCE, WILLIAM A. DEPIETRI AND PARK CENTRAL, LLC, PARK CENTRAL DRIVE, (MAP 25 LOT 5, MAP 33 LOT 4) BY THE TOWN OF SOUTHBOROUGH BOARD OF APPEALS MAY 27, 2015.

5. 244-19(5) STREET JOGG WITH CENTER LINE OFFSETS OF LESS THAN 100 FEET BETWEEN TWO STREETS JOINING THE THIRD STREET FROM THE OPPOSITE SIDES SHALL BE AVOIDED.
6. 244-13(7) WHERE THE STREET GRADE EXCEEDS 4% [FOUR FEET VERTICALLY PER 100 FEET HORIZONTALLY], A LEVELING AREA OF NOT MORE THAN 20 FEET STREET GRADE SHALL BE PROVIDED AT A MINIMUM DISTANCE OF 75 FEET FROM THE SIDE LINE OF THE INTERSECTING STREET RIGHT-OF-WAY.
7. 244-19(4) RESIDENTIAL STREETS DEFINED AS MINOR, LOCAL AND MINOR COLLECTOR SHALL CONFORM TO THE TOPOGRAPHY OF THE LAND AND AVOID STRAIGHT SEGMENTS OF MORE THAN 400 FEET WHICH ENCOURAGE HIGH SPEEDS AND DETRACT FROM THE APPEARANCE OF RESIDENTIAL AREAS.
8. 244-13B(3) NO DRIVEWAY OPENINGS SHALL BE LOCATED WITHIN 65 FEET OF THE INTERSECTION OF THE CENTER LINES OF INTERSECTING STREETS.
9. 244-13B(4) BETWEEN THE SIDE LINE OF THE STREET RIGHT-OF-WAY AND THE EDGE OF THE PAVEMENT OR GUTTER LINE, DRIVEWAY GRADES SHALL BE NOT LESS THAN 1%, NOR MORE THAN 8%.
10. 244-21A SIDEWALKS SHALL BE CONSTRUCTED WITHIN THE SUBDIVISION AND, WHEN THE BOARD DETERMINES IT IS NECESSARY, OUTSIDE THE SUBDIVISION TO CONNECT TO THE EXISTING SIDEWALKS. THE SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SIDEWALKS AND CURBS AND THE LAYED PLANS FOR THE FULL LENGTH OF THE STREET LAYOUT ON ONE OR BOTH SIDES, AS REQUIRED BY THE BOARD, EXCEPT THAT IN TURNAROUNDS THE SIDEWALK SHALL TERMINATE AT THE LAST DRIVEWAY ENTRANCE.
11. 244-23 THE ENTIRE AREA BETWEEN THE GUTTER OR CURB AND THE SIDE LINE OF STREET RIGHT-OF-WAY ON EACH SIDE NOT OCCUPIED BY A SIDEWALK SHALL BE GRADED TO WITHIN SIX INCHES OF THE FINISHED GRADE. SHALL HAVE SIX-INCH DEPTH OF WELL-COMPACTED LOAM INSTALLED, GRADED TO SLOPE DOWN NOT LESS THAN 3/8 INCH PER FOOT TOWARD THE GUTTER OR CURB, AND SHALL BE SEEDDED WITH A HIGH-QUALITY GRASS SEED. THE AREA SHALL BE MAINTAINED AND RESEEDED IF NECESSARY. UTILITY AND LIGHT POLES SHALL BE PLACED IN THE GRASS PLOT, CENTERED THREE FEET AWAY FROM THE GUTTER OR CURB FACE, EXCEPT THAT NO POLES SHALL BE LOCATED LESS THAN 30 FEET FROM THE INTERSECTION OF TANGENTS OF STREET SIDE LINES AT CORNER ROUNDINGS.
12. 244-24B-SUITABLE EXISTING TREES WITHIN THE RIGHT-OF-WAY APPROVED BY THE TREE WARDEN, IF LARGER THAN FOUR INCHES CALIPER AND LOCATED OUTSIDE THE SHOULDERS, SHALL BE MAINTAINED. TREES TO BE RETAINED SHALL NOT IN THE GRADE CHANGES OVER THEIR ROOT AREAS MORE THAN 12 INCHES, WHERE SUITABLE TREES DO NOT EXIST AT INTERVALS OF LESS THAN 40 FEET ON EACH SIDE OF THE STREET, THEY SHALL BE PROVIDED BY THE DEVELOPER.

BASIS OF BEARINGS:

MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM

1. SEE SHEET C1.00 FOR REFERENCES AND LEGEND.
2. ALL SETBACK LINES AND DIMENSIONS ARE PARALLEL TO OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED, UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
4. DIMENSIONS OF PARKING SPACES AND SIDEWALKS ARE MEASURED FROM FACE OF CURB.
5. EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY A SIGN LOCATED AT THE BACK OF CURB. THE SIGN SHALL CONTAIN THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-366, AND DETAILED IN THE FHWA/JSDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.
6. FACE OF GUARDRAILS IS TO BE LOCATED A MINIMUM OF 3'-6" FROM FACE OF CURB.
7. ALL CURBING ALONG RADIUS AT STREET INTERSECTIONS OR SITE ENTRANCES IS TO BE GRANITE CURBING THE DISTANCE OF THE ARCS OF THE CURVES PLUS A STRAIGHT SECTION AT EACH END OF EIGHT FEET (8').
8. DEVELOPMENT IS SUBJECT TO CONDITIONS OF USE VARIANCE ISSUED BY THE TOWN OF SOUTHBOROUGH BOARD OF APPEALS MAY 27, 2015.

	BITUMINOUS CONCRETE DRIVEWAYS / PARKING
	BITUMINOUS CONCRETE SIDEWALKS
	CEMENT CONCRETE
BIT. CONC.	BITUMINOUS CONCRETE
ACR	ACCESSIBLE CURB RAMP
DYL	DOUBLE YELLOW LINE
SWL	SOLID WHITE LINE
TPYL	TYPICAL
R	RADIUS

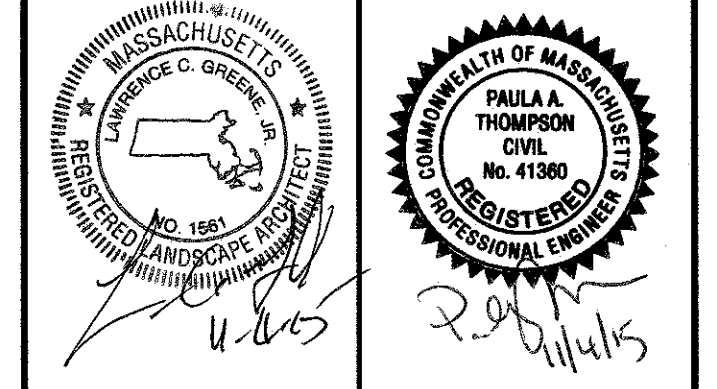
SIGN ID NUMBER	SIZE OF SIGN		SCHEMATIC
	WIDTH	HEIGHT	
R1-1	30"	30"	
R3-1	24"	24"	
R4-7	30"	30"	
R5-1	30"	30"	
R7-8 WITH R7-8A	12"	18"	  
W11-2	24"	24"	

NOTE: REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR SIGN COLORS, TEXT HEIGHTS AND SIGN MOUNTING HEIGHT REQUIREMENTS.

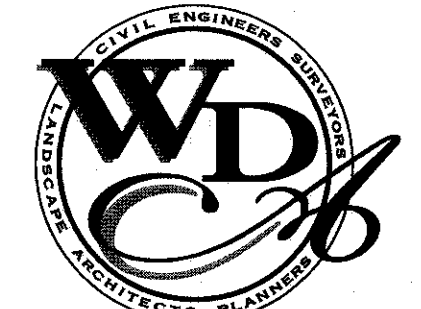
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A	11/04/15	PROGRESS SET	
<i>REV.</i>	<i>DATE</i>	<i>DESCRIPTION</i>	<i>APP'D.</i>



PREPARED BY:



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OWNER:

c/o Capital Group Properties
295 Turnpike Road, Suite 100
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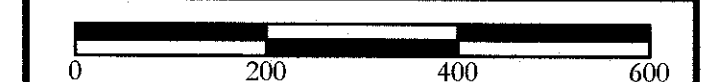
PREPARED FOR:

295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE:

Southborough, MA
Worcester County)

TOWN PERMITTING



DATE:	11/04/15	SCALE:	1" = 200'
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JOB NO.:	DWN. BY:
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0978.00	_____
FILE NO.:	CHK'D. BY: _____

0978200	SHEET:
DRAWING NO.:	

C2.00



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Southborough, MA 01772

PREPARED FOR:

CAPITAL GROUP PROPERTIES LLC

295 Turnpike Road, Suite 100
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TITLE:

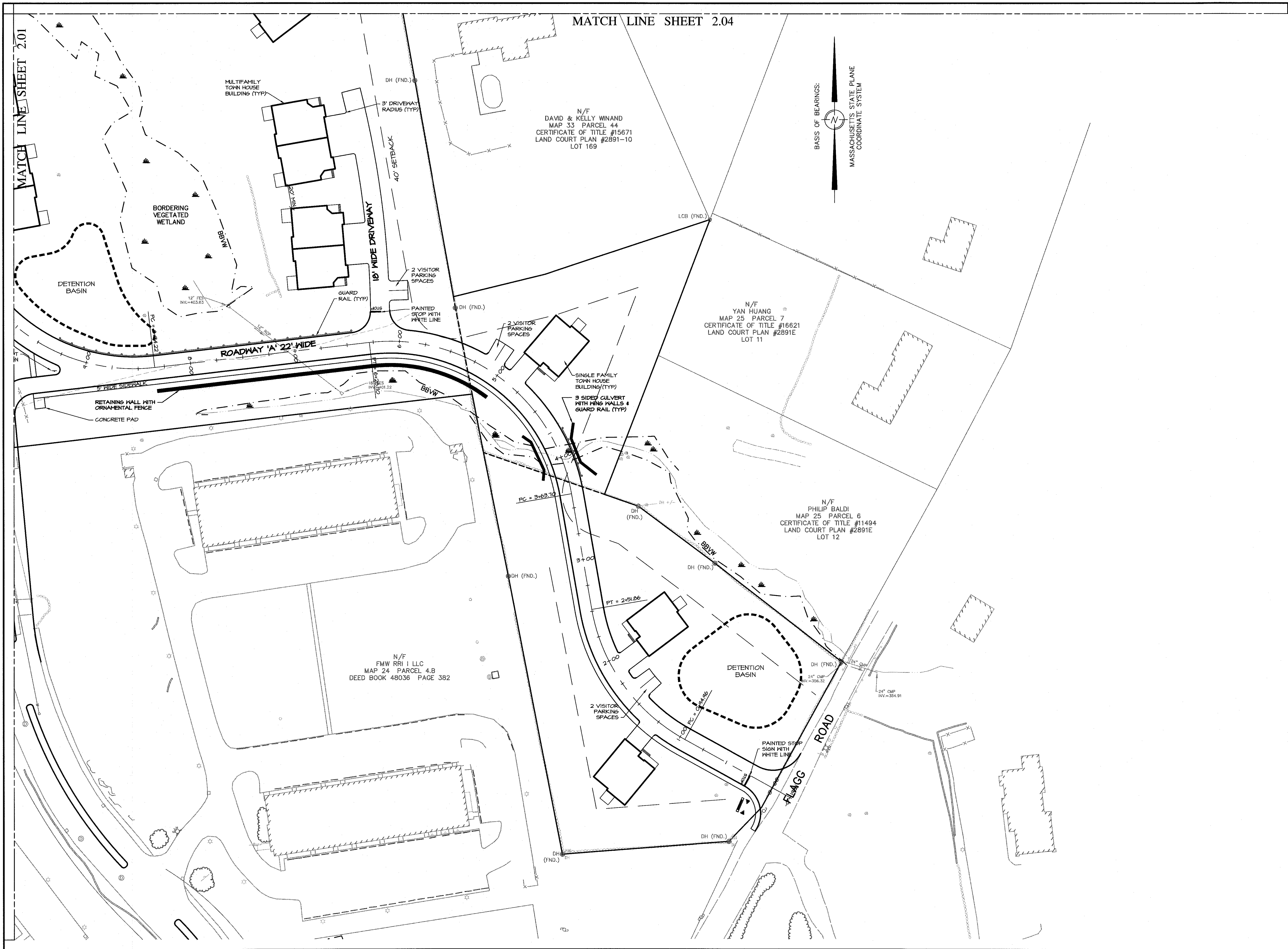
LAYOUT AND MATERIALS PLAN

PARK CENTRAL

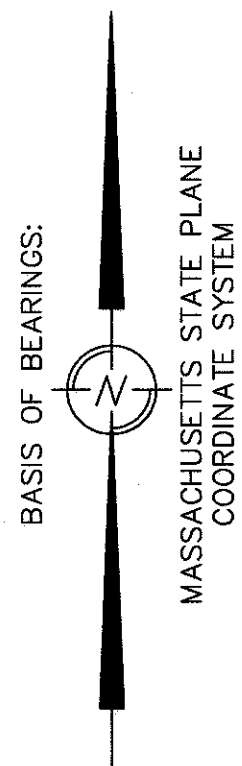
Southborough, MA
Worcester County)

TOWN PERMITTING

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FILE NO.:	0978200	CHK'D. BY:	
DRAWING NO.:	0978201A	SHEET:	C2.01

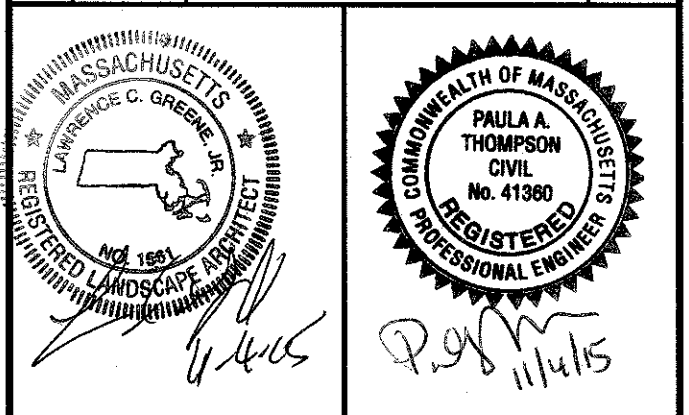


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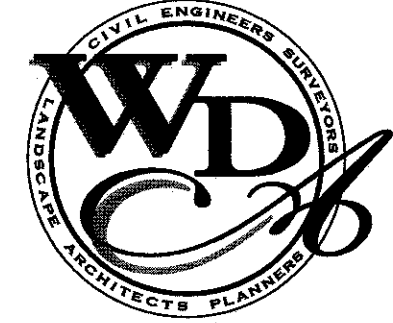


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TITLE:

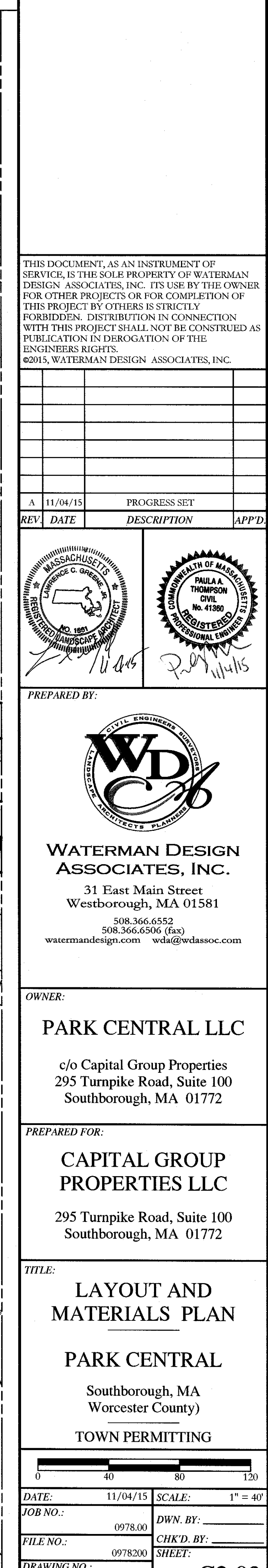
LAYOUT AND MATERIALS PLAN

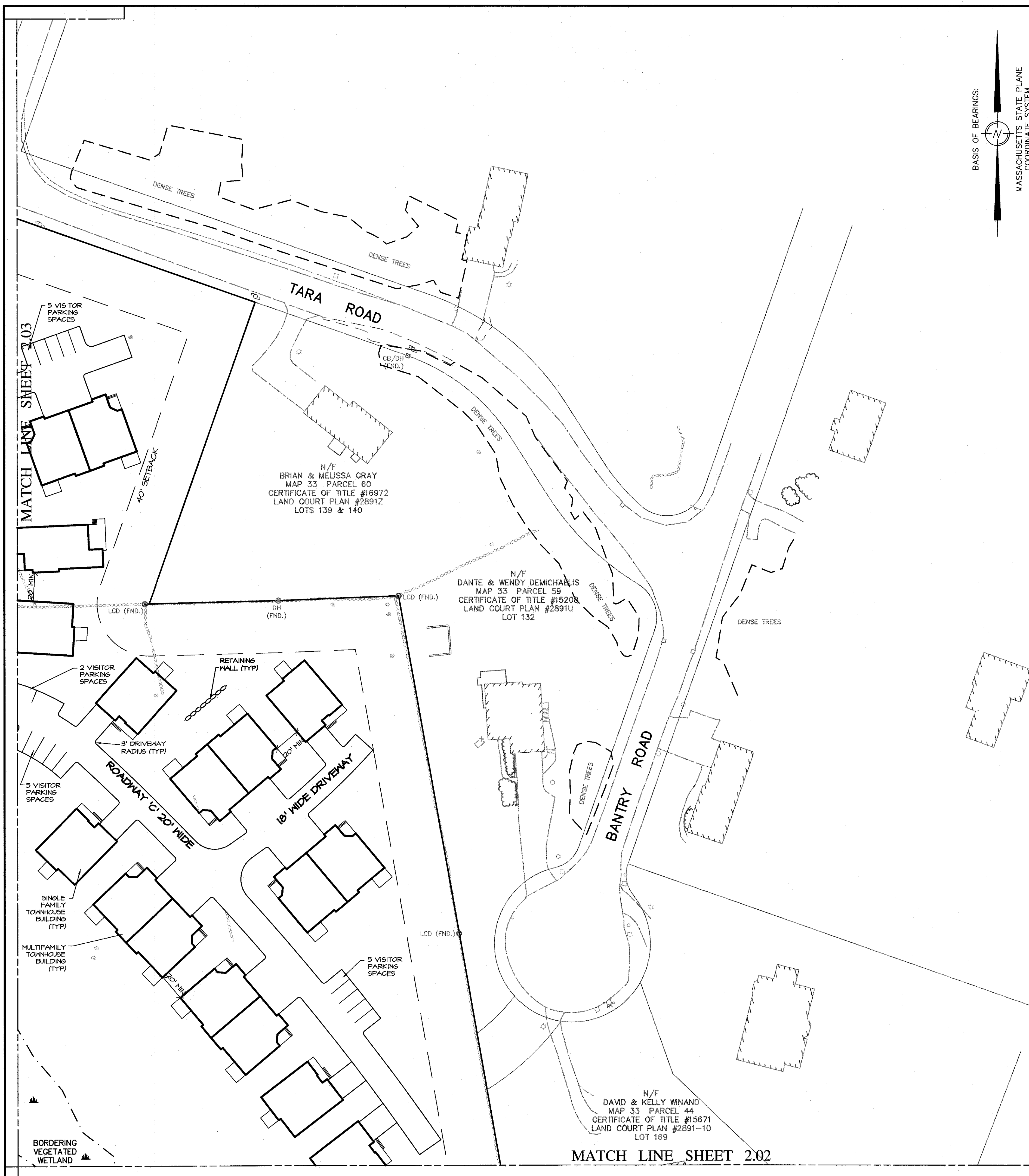
PARK CENTRAL

Southborough, MA
Worcester County)

TOWN PERMITTING

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FILE NO.:	0978200	CHK'D. BY:	
DRAWING NO.:	0978202A	SHEET:	C2.02

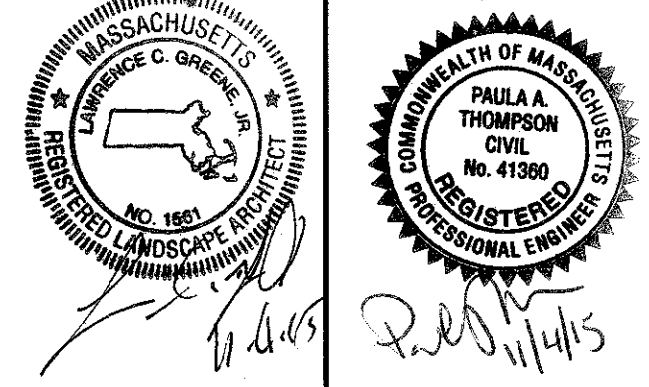




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PREPARED FOR.

CAPITAL GROUP
PROPERTIES LLC

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TITLE.

LAYOUT AND MATERIALS PLAN

PARK CENTRAL

Southborough, MA
Worcester County)

TOWN PERMITTING



DATE: 11/04/15 SCALE: 1" = 40'

JOB NO.:	DWN BY:
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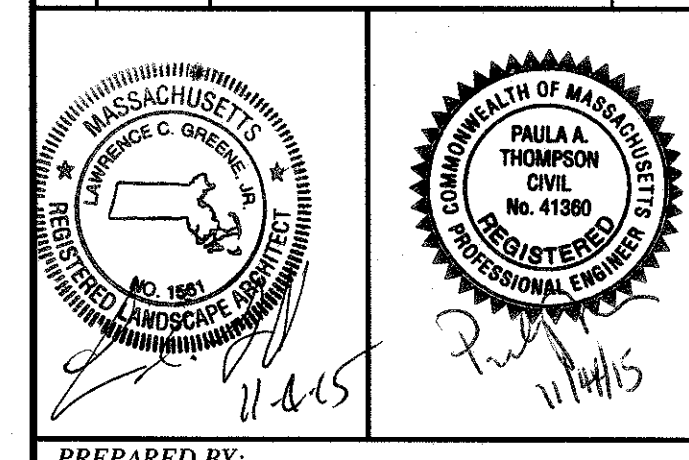
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FILE NO	

FILE NO.: 0978200 SHEET:



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Southborough, MA 01772

TITLE:
LAYOUT AND MATERIALS PLAN
PARK CENTRAL
Southborough, MA
Worcester County)
TOWN PERMITTING

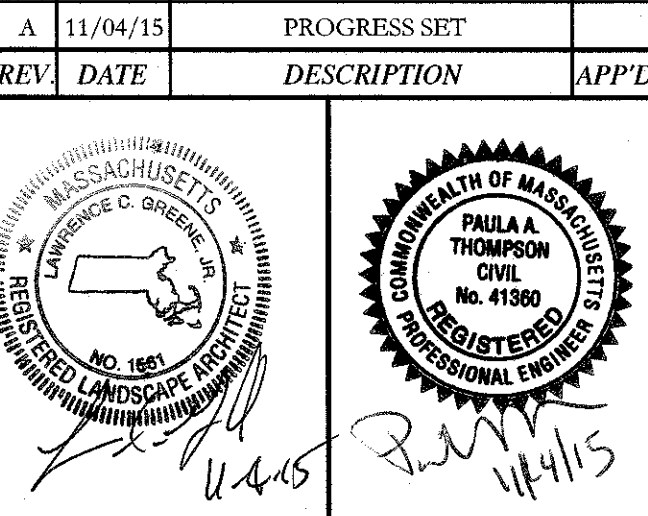
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FILE NO.: 0978200 CHK'D. BY: _____
DRAWING NO.: 0978205A SHEET: **C2.05**

MATCH LINE SHEET 2.078

MATCH LINE SHEET 2.08

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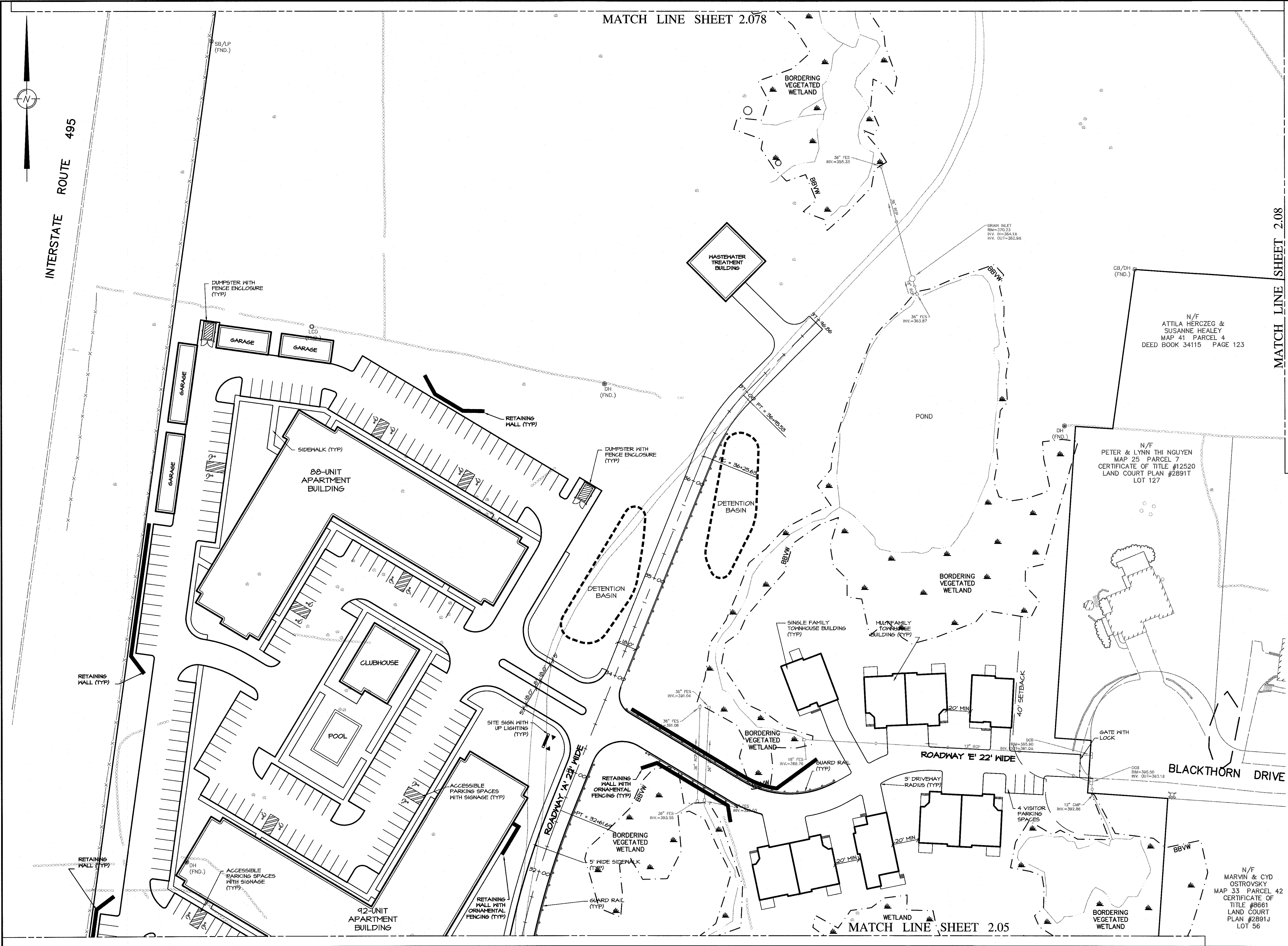
PREPARED FOR:

CAPITAL GROUP PROPERTIES LLC
295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE:

LAYOUT AND MATERIALS PLAN
PARK CENTRAL
Southborough, MA
Worcester County)
TOWN PERMITTING

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DRAWING NO.:	0978206A	SHEET:	C2.06



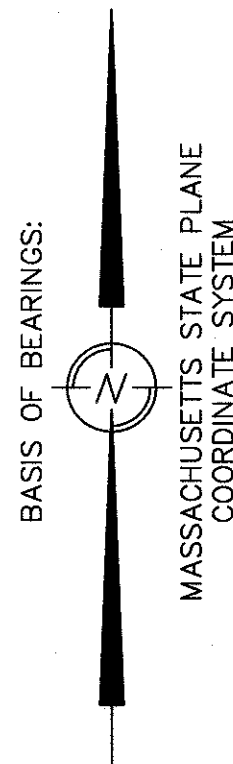
MATCH LINE SHEET 2.05

N/F
MARVIN & CYD
OSTROVSKY
MAP 33 PARCEL 42
CERTIFICATE OF
TITLE #8661
LAND COURT
PLAN #2891J
LOT 56

N/F
PETER & LYNN THI NGUYEN
MAP 25 PARCEL 7
CERTIFICATE OF TITLE #12520
LAND COURT PLAN #2891T
LOT 127

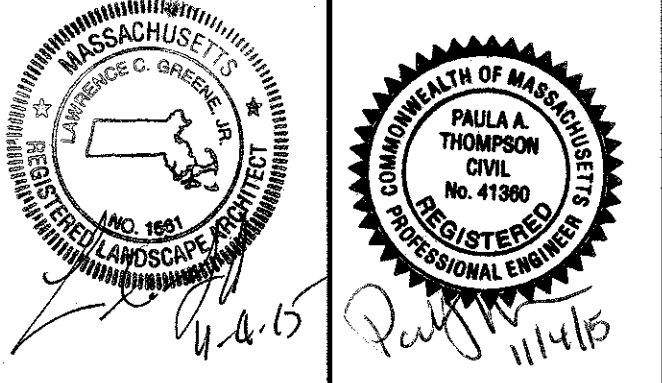
N/F
ATTILA HERCZEG &
SUSANNE HEALEY
MAP 41 PARCEL 4
DEED BOOK 34115 PAGE 123

INTERSTATE ROUTE 495

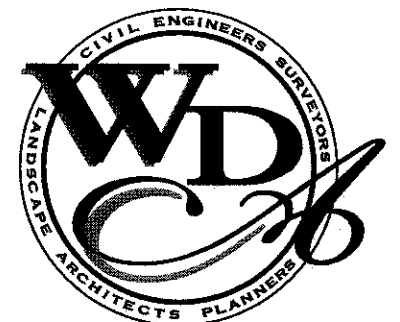


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Southborough, MA 01772

PREPARED FOR:

CAPITAL GROUP PROPERTIES LLC

295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE:

GRADING AND DRAINAGE PLAN

PARK CENTRAL

Southborough, MA
(Worcester County)

PERMITTING

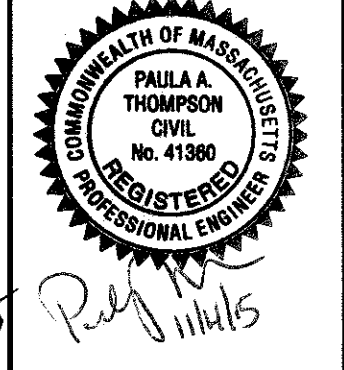
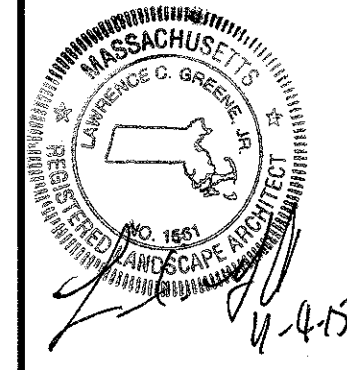


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FILE NO.:	0978300	CHK'D BY:	
DRAWING NO.:	0978301A	SHEET:	C3.01



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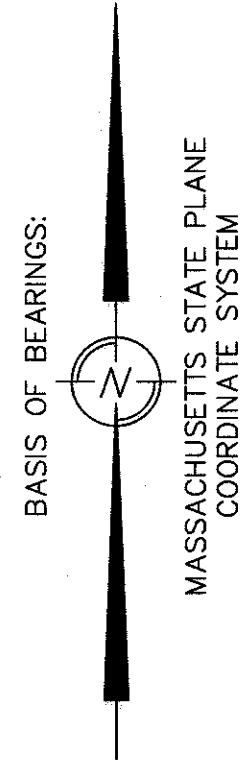
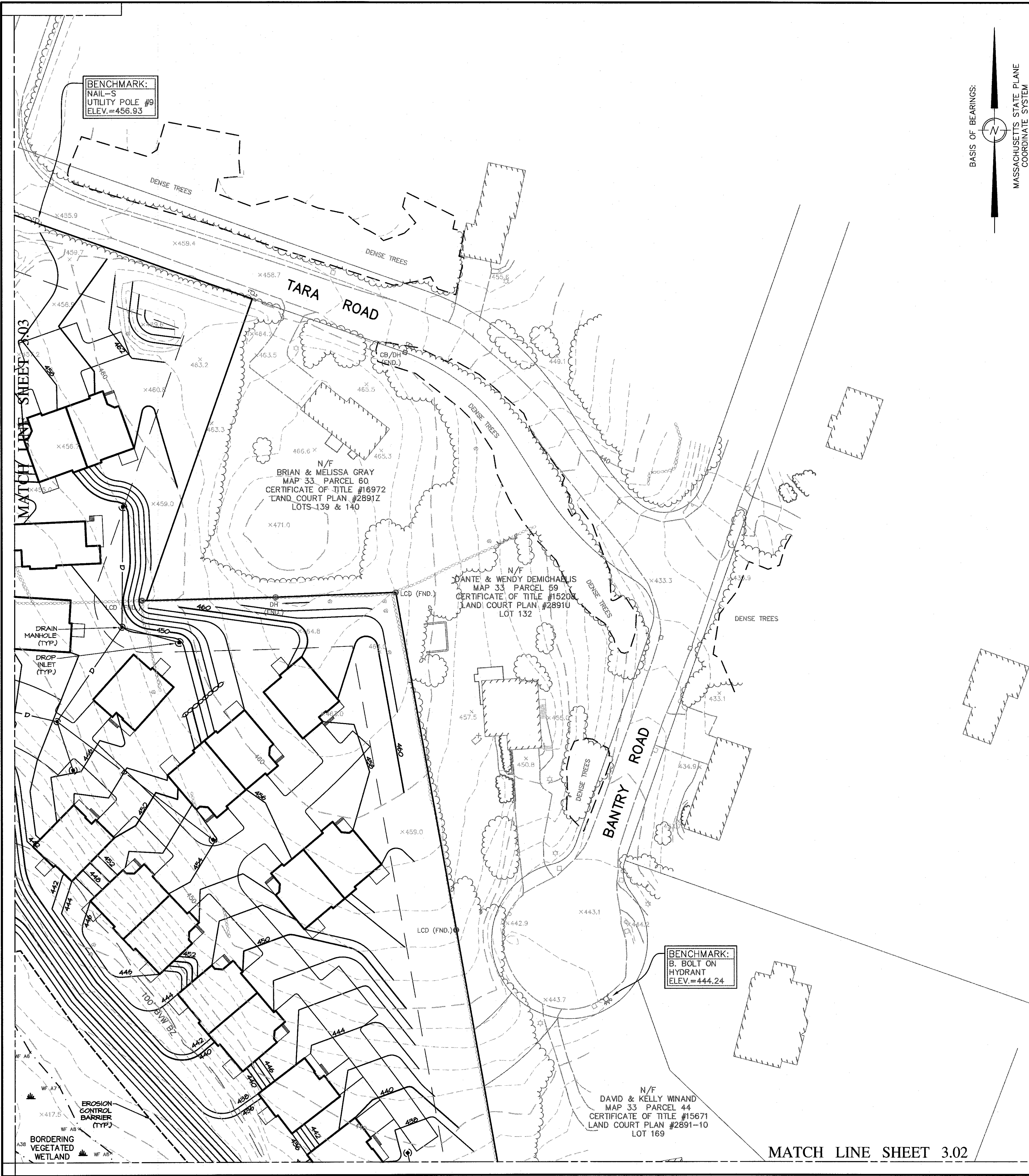
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watermandesign.com wda@wdassoc.com

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295 Turnpike Road, Suite 100
Southborough, MA 01772

PREPARED FOR:
CAPITAL GROUP PROPERTIES LLC
295 Turnpike Road, Suite 100
Southborough, MA 01772

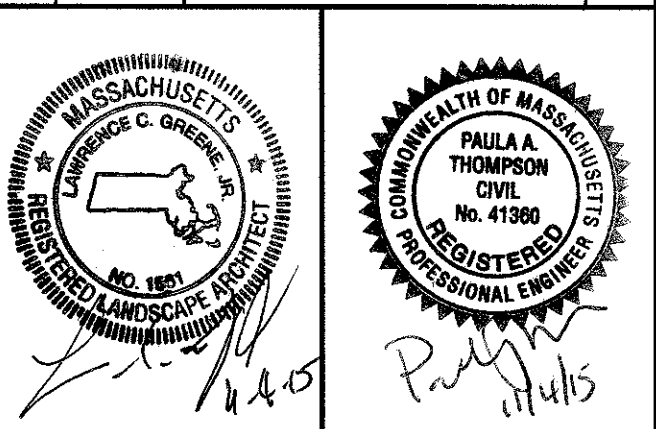
TITLE:
GRADING AND DRAINAGE PLAN
PARK CENTRAL
Southborough, MA
(Worcester County)
PERMITTING

DATE: 11/04/15 SCALE: 1" = 40'
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FILE NO.: 0978300 CHK'D. BY: _____
DRAWING NO.: 0978303A SHEET: **C3.03**



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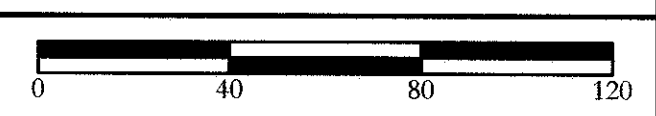
PARK CENTRAL LLC
c/o Capital Group Properties
295 Turnpike Road, Suite 100
Southborough, MA 01772

PREPARED FOR:

CAPITAL GROUP PROPERTIES LLC
295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE:

GRADING AND DRAINAGE PLAN
PARK CENTRAL
Southborough, MA
(Worcester County)
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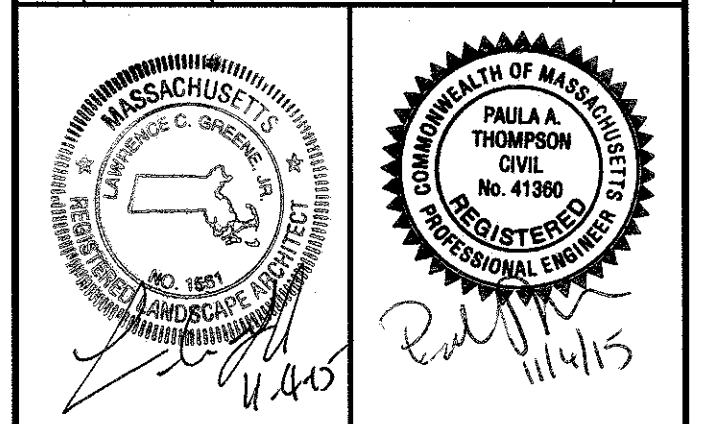
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DRAWING NO.:	0978304A	SHEET:	C3.04



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The logo is circular with a thick black border. Inside the border, the words "CIVIL ENGINEERS" are at the top and "ARCHITECTS PLANNING" are at the bottom, both in a sans-serif font. In the center of the circle, the letters "WD" are prominently displayed in a large, bold, serif font. Below "WD", the letters "CA" are written in a large, stylized, cursive script font. A long, thin, curved line, resembling a pen stroke, starts from the bottom right of the "CA" and extends upwards and to the right, ending near the top right of the circle.

**WATERMAN DESIGN
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Southborough, MA 01772

PREPARED FOR:

CAPITAL GROUP
PROPERTIES LLC

295 Turnpike Road, Suite 100
Southborough, MA 01772

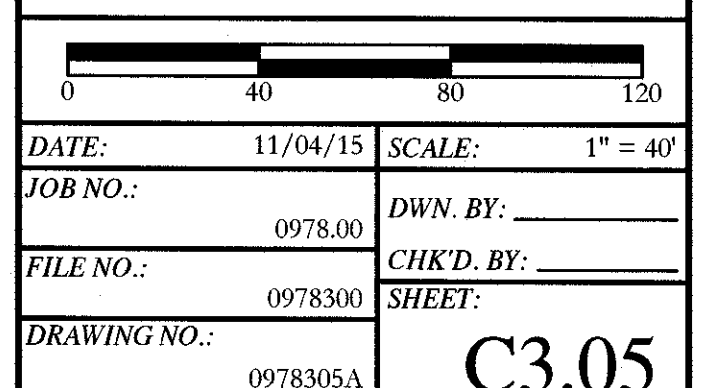
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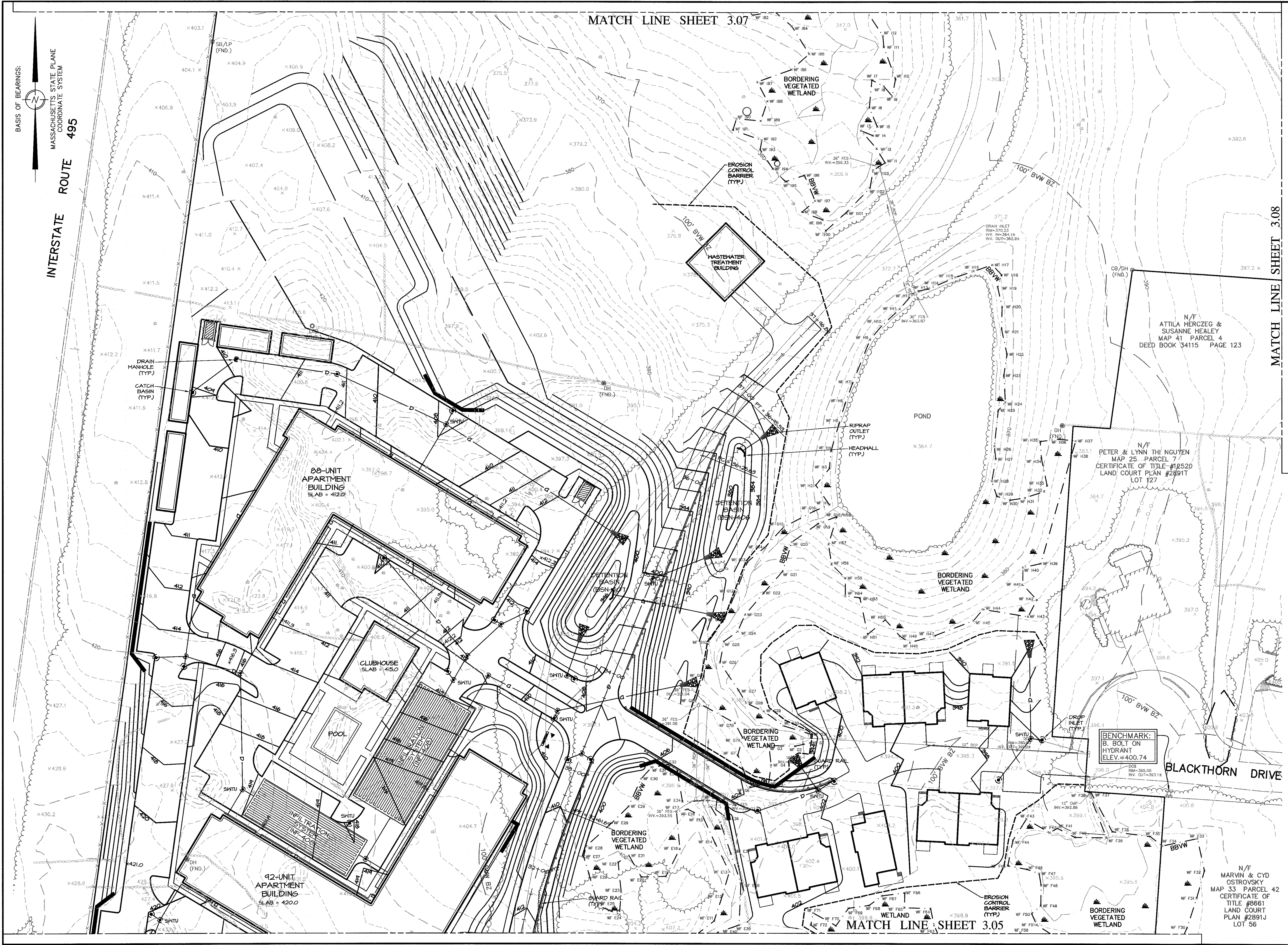
**GRADING AND
DRAINAGE PLAN**

PARK CENTRAL

Southborough, MA
(Worcester County)

PERMITTING





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REV.	DATE	DESCRIPTION	INIT.
A	11/04/15	PROGRESS SET	

MASSACHUSETTS
LANDSCAPE ARCHITECT
No. 1981
PAULA A. THOMPSON
CIVIL
No. 41360
REGISTERED PROFESSIONAL ENGINEER

PREPARED BY:

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TITLE:
GRADING AND DRAINAGE PLAN
PARK CENTRAL
Southborough, MA (Worcester County)
PERMITTING

0 40 80 120

DATE: 11/04/15 SCALE: 1" = 40'

JOB NO.: 0978.00 DWN. BY:

FILE NO.: 0978300 CHK'D. BY:

DRAWING NO.: 0978306A SHEET: **C3.06**



1. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT ARE NOT DEPICTED HEREON. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-1233 (PER 220 CMR 94) AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
2. CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).
3. CONTRACTOR SHALL CONFIRM DEPTH(S) OF PERTINENT UTILITIES BY TEST PIT AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
4. ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS (310 CMR 7, 10 & 14 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.
5. PIPE LENGTHS/SLOPES ARE MEASURED CENTER-OF-STRUCTURE TO CENTER-OF-STRUCTURE.
6. ALL DRAIN PIPE SHALL BE SMOOTH-WALLED CORRUGATED PE (ADS-NI2 OR EQUAL), UNLESS OTHERWISE NOTED.
7. ALL GRAVITY SEWER PIPE SHALL BE SDR 35 PVC (ASTM D3034) WITH WATERTIGHT INTEGRAL BELL GASKETED JOINT (ASTM D3212) AND ELASTOMERIC GASKET (ASTM F471), UNLESS OTHERWISE NOTED.
8. ALL FORCE MAIN SEWER PIPE SHALL BE SDR 21 PVC (200 PSI RATED, ASTM D2241) WITH WATERTIGHT JOINTS (ASTM D2612 OR D3212 AS ALLOWED), UNLESS OTHERWISE NOTED.
9. ALL WATER MAIN PIPE AND FITTINGS SHALL BE CLDI CLASS 52 (AWWA C151, C110 & C104) WITH RUBBER GASKETED JOINTS (AWWA III), UNLESS OTHERWISE NOTED. ALL WATER SERVICES TO BE PRESSURE RATED PE OR COPPER AS REQUIRED/APPROVED BY DPW. PROVIDE 5' MIN. COVER. ALL VALVES SHALL OPEN PER TOWN OF SOUTHBOROUGH REQUIREMENTS.
10. WHERE 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS CANNOT BE MAINTAINED, CROWN OF SEWER MAIN SHALL BE 18" BELOW BOTTOM OF WATER MAIN, IN ACCORDANCE WITH SECTION 4.7.2 OF MASS. DEP "GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS" (AS DEFINED IN 310 CMR 22.02).
11. PROPOSED GAS, ELECTRIC, TELEPHONE AND CABLE DEPICTED IS SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANY FOR FINAL PLANS AND SPECIFICATIONS.
12. CONTRACTOR SHALL COORDINATE CONNECTION TO MUNICIPAL FIRE ALARM.

[illegible]

DATE:	11/04/15	SCALE:	1" = 200'
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FILE NO.:	0978300	CHK'D. BY:	_____
DRAWING NO.:	0978310A	SHEET:	C4.00

C4.00 |

BASIS OF BEARINGS:



MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM

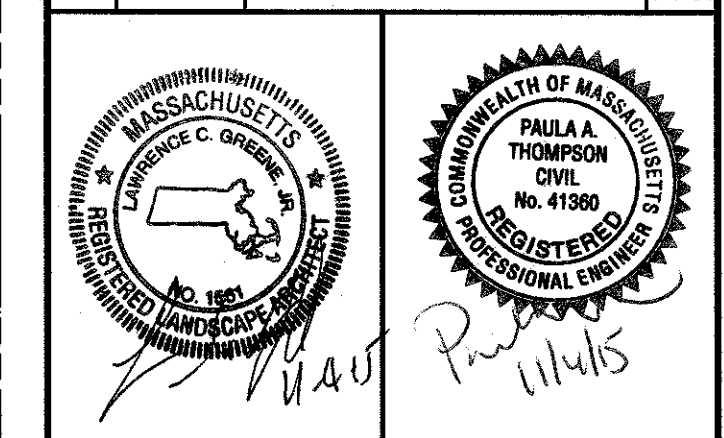


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[illegible]

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PREPARED BY:

The logo is a circular seal. The outer ring contains the text "CIVIL ENGINEERS" at the top and "ARCHITECTS & PLANNERS" at the bottom. Inside the ring, the letters "WD" are prominently displayed in a large, stylized font. Below "WD" is a large, stylized "C" that loops around the bottom right of the seal. A pen or pencil is shown drawing a line through the "C".

**WATERMAN DESIGN
ASSOCIATES, INC.**

31 East Main Street
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508.366.6506 (fax)

watermandesign.com wda@wdassoc.com

OWNER:

PARK CENTRAL LLC

c/o Capital Group Properties
295 Turnpike Road, Suite 100
Southborough, MA 01772

PREPARED FOR:

**CAPITAL GROUP
PROPERTIES LLC**

295 Turnpike Road, Suite 100
Southborough, MA 01772

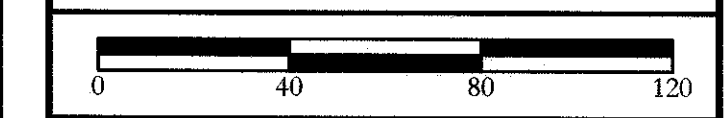
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UTILITY PLAN

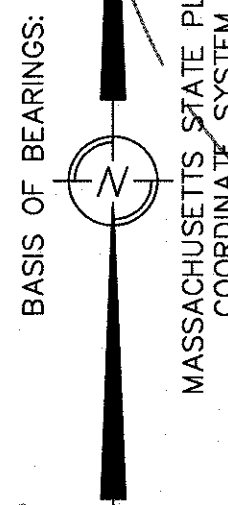
PARK CENTRAL

Southborough, MA
(Worcester County)

PERMITTING

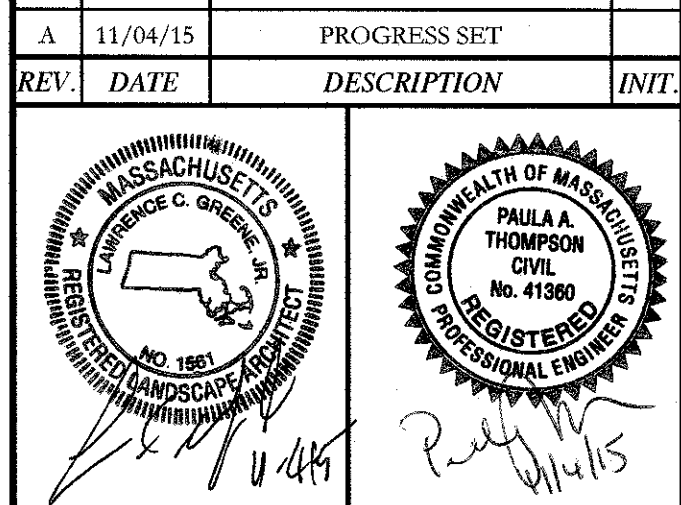


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DRAWING NO.: 0978311A		SHEET: C4.01	



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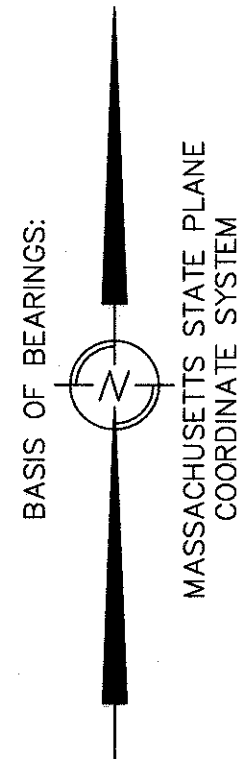
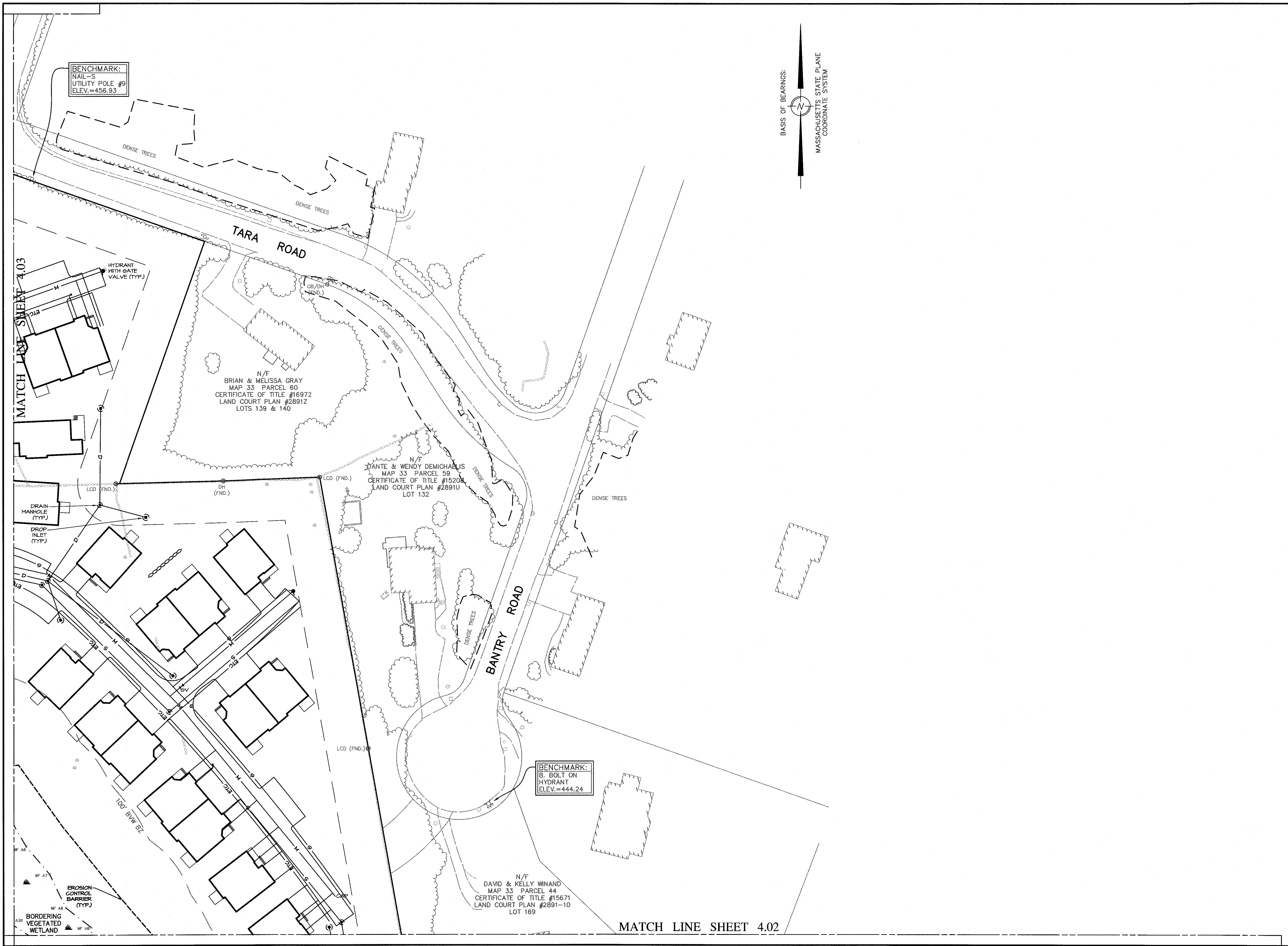
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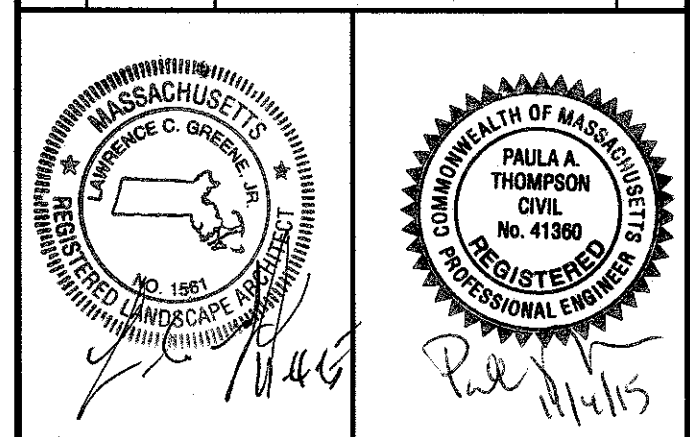
TITLE:
UTILITY PLAN
PARK CENTRAL
Southborough, MA
(Worcester County)
PERMITTING

DATE: 11/04/15 SCALE: 1" = 40'
JOB NO.: 0978.00 DWN. BY:
FILE NO.: 0978300 CHKD. BY:
DRAWING NO.: 0978313A SHEET:



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TITLE:
UTILITY PLAN

PARK CENTRAL
Southborough, MA
(Worcester County)
PERMITTING

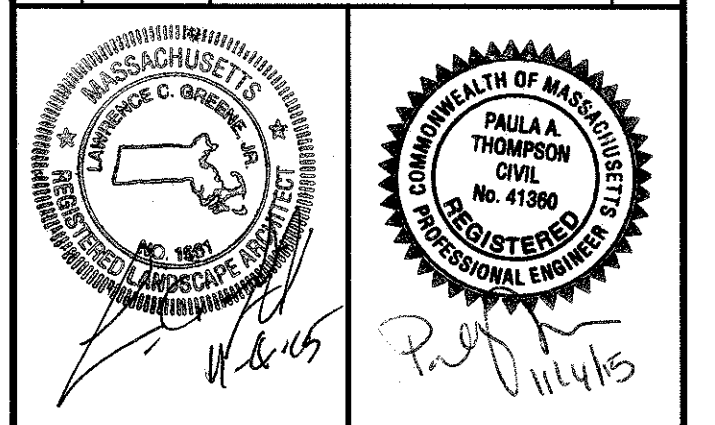
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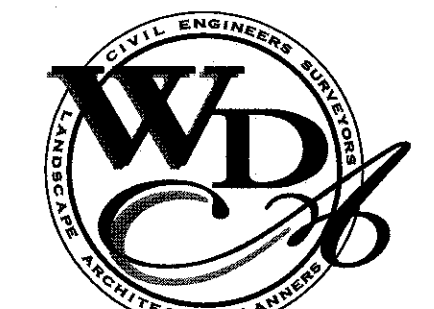
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PARK CENTRAL

Southborough, MA
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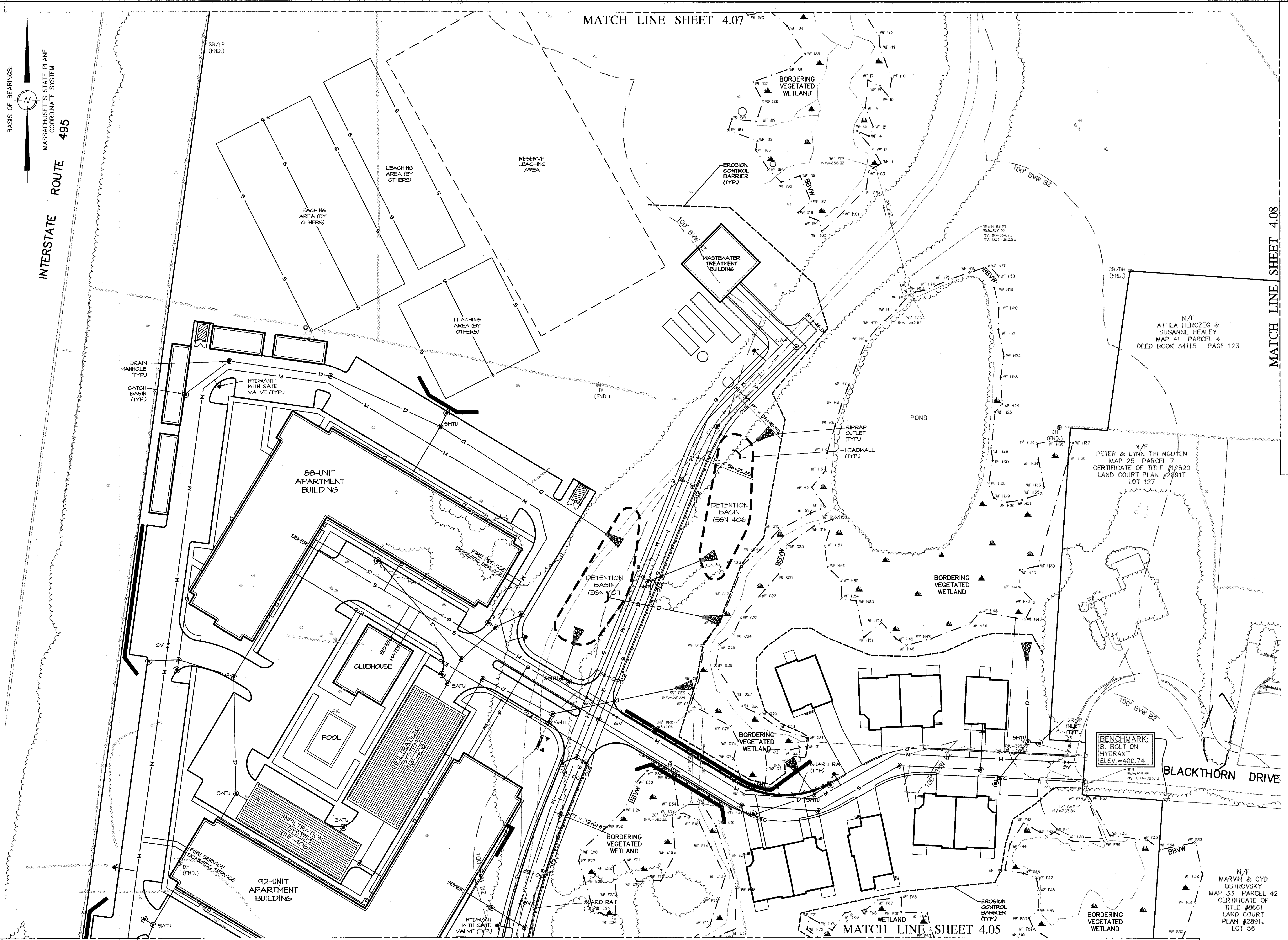
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FILE NO.:		CHK'D. BY: _____

FILE NO.:	0978300	CHK D. BY: _____
		SHEET: _____

C4.05



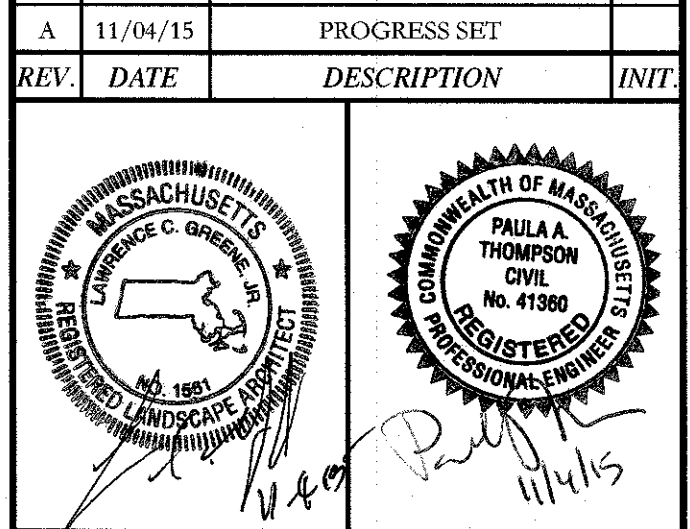
INTERSTATE ROUTE 495

MATCH LINE SHEET 4.07

MATCH LINE SHEET 4.08

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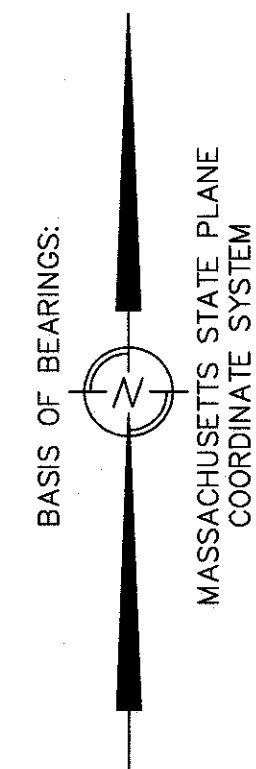
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TITLE:
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Southborough, MA
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PERMITTING

DATE:	11/04/15	SCALE:	1" = 40'
JOB NO.:	097800	DWN. BY:	
FILE NO.:	0978300	CHKD. BY:	
DRAWING NO.:	0978316A	SHEET:	C4.06



LIGHTING NOTES AND SPECIFICATIONS

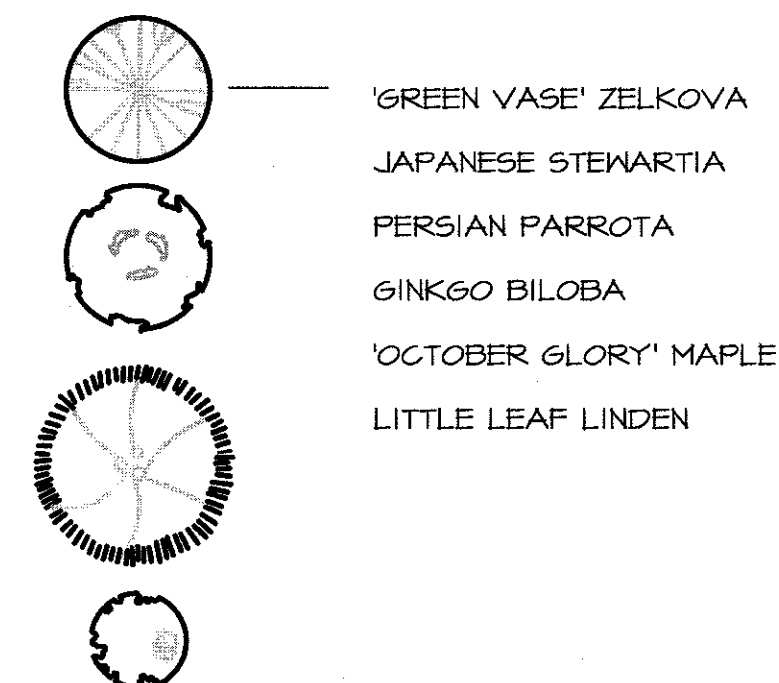
THE LIGHTING ILLUMINATION LEVELS AS PROPOSED COMPLY WITH THE AVERAGE ILLUMINATION LEVELS RECOMMENDED BY ILLUMINATION ENGINEERING SOCIETY OF NORTH AMERICA (IESNA).

1. PROPOSED POLE-MOUNTED LIGHT FIXTURES SHALL BE MOUNTED AT A HEIGHT NOT TO EXCEED 15 FEET WHEN MEASURED FROM THE GROUND SURFACE TO THE BOTTOM OF THE FIXTURE.
2. SEE SHEET 7 OF 11 FOR DETAILS ON SITE LIGHTING FIXTURES.
3. FIXTURES SHALL BE POLE MOUNTED
4. POLE, ARM AND FIXTURE COMPONENTS SHALL BE BLACK FINISH.
5. ALL POLES TO BE MOUNTED ON CONCRETE LIGHT POLE BASES. THE CONCRETE BASE SHALL EXTEND 6" ABOVE GRADE WHERE LOCATED OFF PAVEMENT; BASES SHALL EXTEND 30" ABOVE GRADE IN PAVED AREAS.
6. POLE BASES LOCATED AT THE PERIMETER OF PARKING AREAS SHALL BE LOCATED A MINIMUM OF 1.5 FEET FROM THE FACE OF THE CURB.

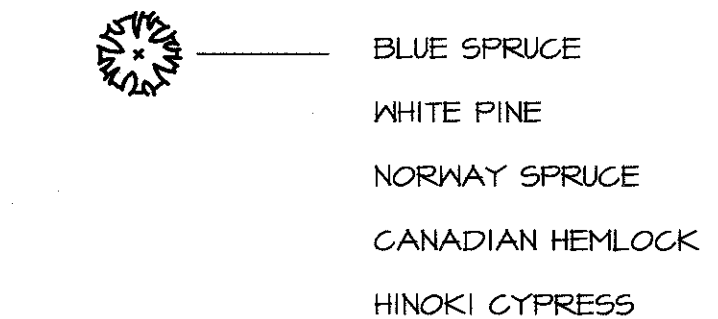
LANDSCAPE NOTES

1. THE PLANT SCHEDULE PROVIDED CONTAINS A PALLET OF PLANT MATERIALS CHOSEN FOR THE PROJECT. PLANT MATERIALS SHALL BE PROVIDED IN ACCORDANCE WITH THE PLANTING SCHEDULE BASED ON AVAILABILITY AT THE TIME OF INSTALLATION. SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE AS APPROVED BY THE LANDSCAPE ARCHITECT. SUBSTITUTIONS SHALL BE EQUAL IN OVERALL HEIGHT, LEAF, FORM, BRANCHING HABIT, FRUIT, FLOWER, COLOR, AND CULTURE.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY ANSI Z60.1, "THE AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. PLANT MATERIAL SHALL BE LABELED WITH THE BOTANICAL NAME, COMMON NAME, AND NURSERY OF ITS ORIGIN. PLANT MATERIAL SHALL BE LABELED WITH A SECURELY ATTACHED WATERPROOF TAB BEARING LEGIBLE DESIGNATION.
4. THE LANDSCAPE CONTRACTOR SHALL PROVIDE HEALTHY, VIGOROUS STOCK, GROWN AT A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, DISFIGUREMENT, ETC.
5. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT THE SITE. MATERIAL SHALL BE IMMEDIATELY REMOVED FROM THE PROPERTY BY THE LANDSCAPE CONTRACTOR AND REPLACED WITH IN-KIND MATERIAL APPROVED BY LANDSCAPE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
6. ALL NEW TREES PROPOSED ADJACENT TO SIDEWALKS SHALL ACHIEVE A 6'-8" MIN. BRANCHING STANDARD AT TIME OF PLANTING.
7. PLANT MATERIALS SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS THEY DID IN THE NURSERY, CONTAINER OR THE EXISTING SITE GRADES IN THE CASE OF TRANSPLANTED MATERIALS.
8. INCLUDE IN BID A TWELVE MONTH WARRANTY TO REPLACE DEAD OR DYING PLANTS FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE BY THE OWNER. ANY REPLACEMENTS SHALL BE AT NO ADDITIONAL COST TO OWNER.
9. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS UNLESS OTHERWISE NOTED ON THE PLAN. MULCH WITH CLEAN, SHREDDED PINE BARK MULCH TO A MINIMUM OF 3" DEPTH IN PLACE UNLESS OTHERWISE NOTED. PRIOR TO SPREADING MULCH, APPLY A WEED PREVENTER SUCH AS "TREFLAN" OR APPROVED EQUAL. FOLLOW MANUFACTURER'S INSTRUCTIONS.
10. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PRESERVE AND PROTECT EXISTING VEGETATION WHERE IT IS NOT IN CONFLICT WITH PROPOSED SITE CONSTRUCTION.
11. THE CONTRACTOR SHALL COMPLETE AN ON-SITE EVALUATION OF SITE CONDITIONS PRIOR TO COMMENCEMENT OF PLANTING INSTALLATION, INCLUDING SOIL COMPACTION, COMPOSITION AND DRAINAGE CHARACTERISTICS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MITIGATE ANY SITE CONDITIONS UNSUITABLE FOR PLANT GROWTH PRIOR TO PLANTING TO ENSURE VIGOROUS PLANT GROWTH AND GENERAL HEALTH.

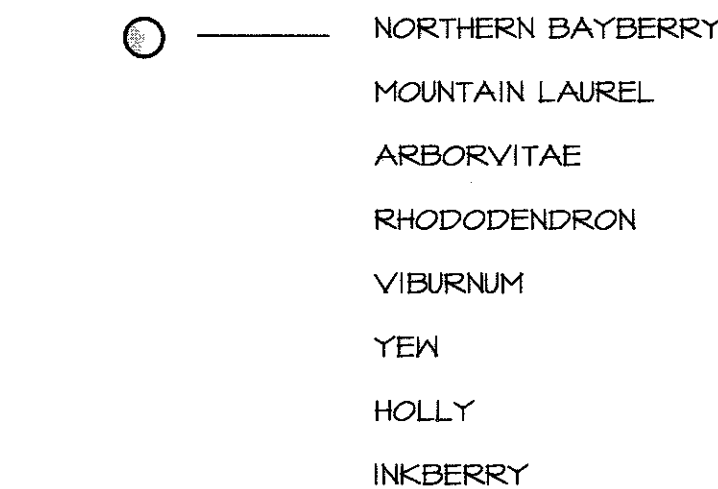
STREET TREE



EVERGREEN SCREEN

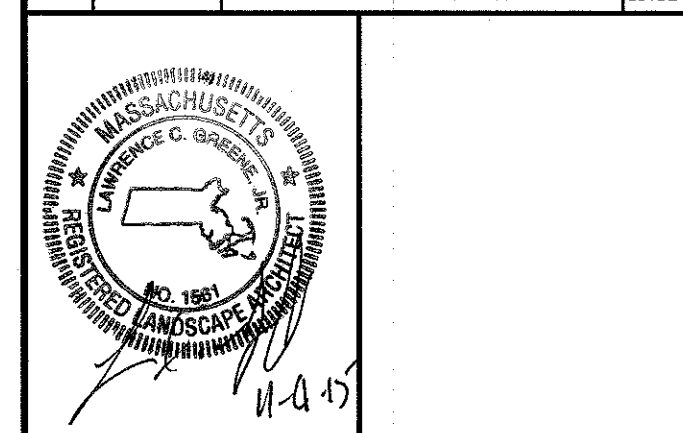


EVERGREEN SCREEN



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Southborough, MA 01772

PREPARED FOR:

CAPITAL GROUP PROPERTIES LLC

295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE:

LANDSCAPE AND LIGHTING INDEX

PARK CENTRAL

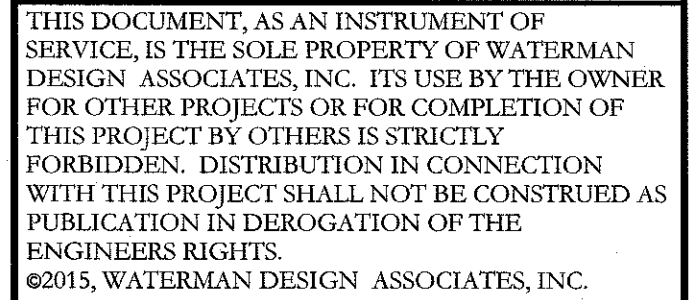
Southborough, MA
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FILE NO.:	0978400	CHK'D. BY:	
DRAWING NO.:	0978400A	SHEET:	C5.00

BASIS OF BEARINGS:

MASSACHUSETTS STATE PLANE
COORDINATE SYSTEM



OWNER:

PARK CENTRAL LLC

c/o Capital Group Properties
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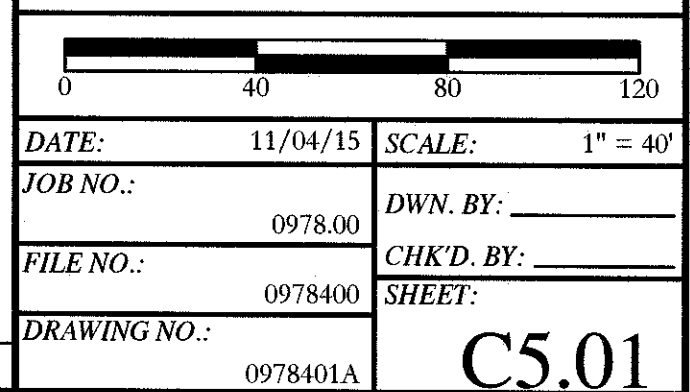
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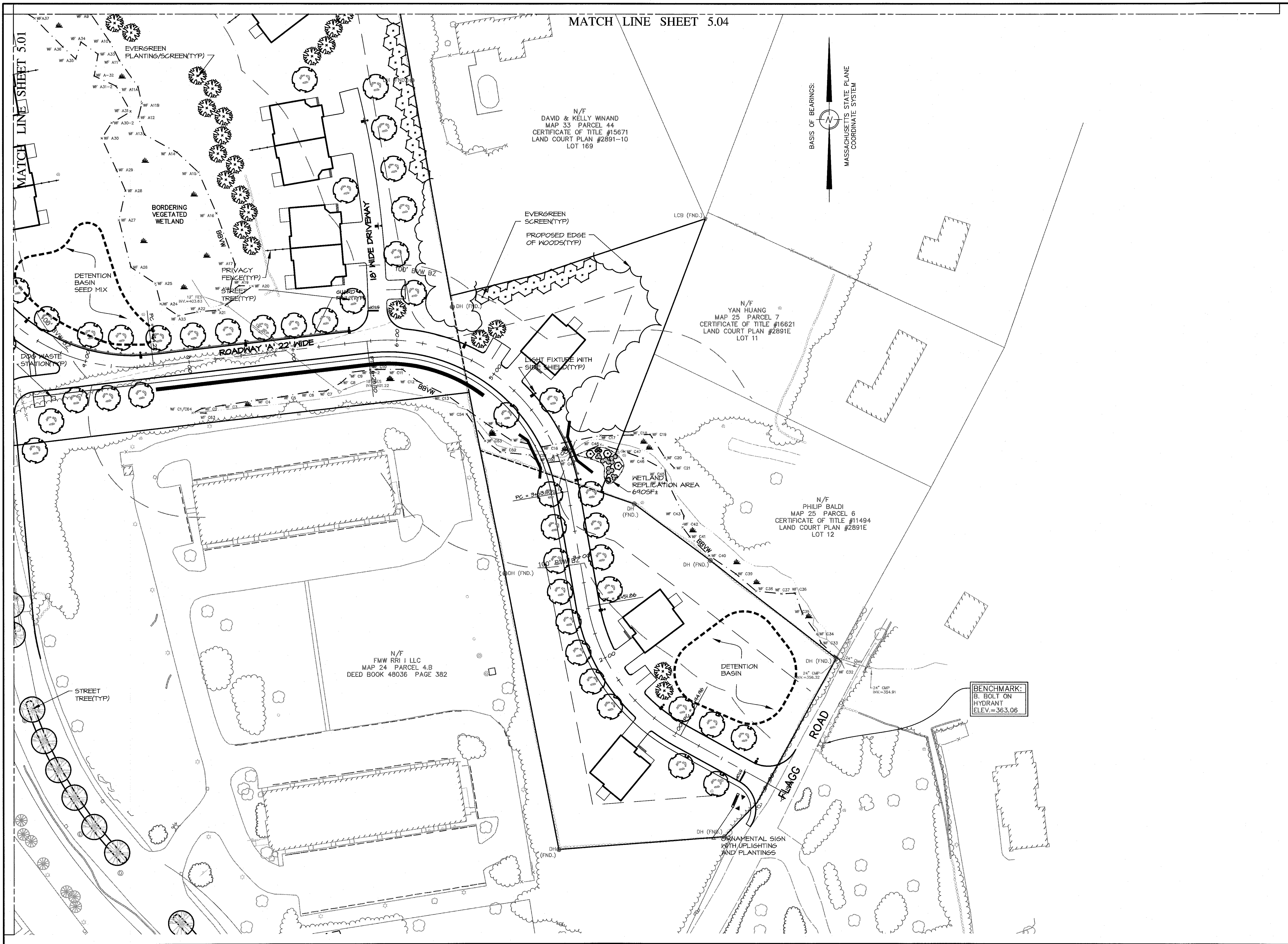
**LANDSCAPE AND
LIGHTING PLAN**

PARK CENTRAL

Southborough, MA
(Worcester County)

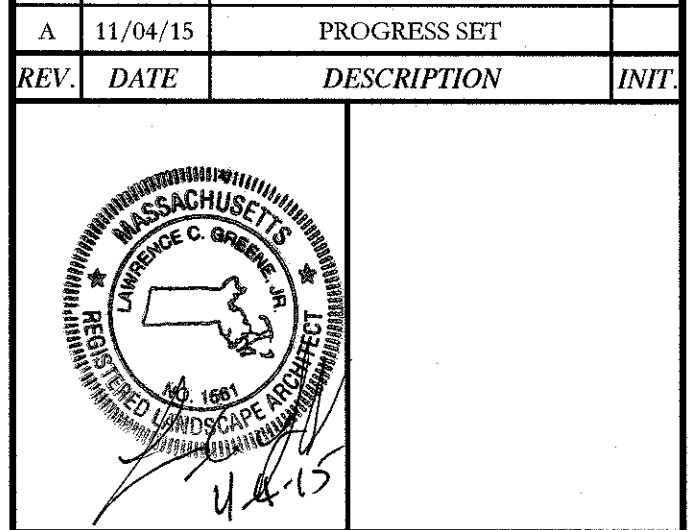
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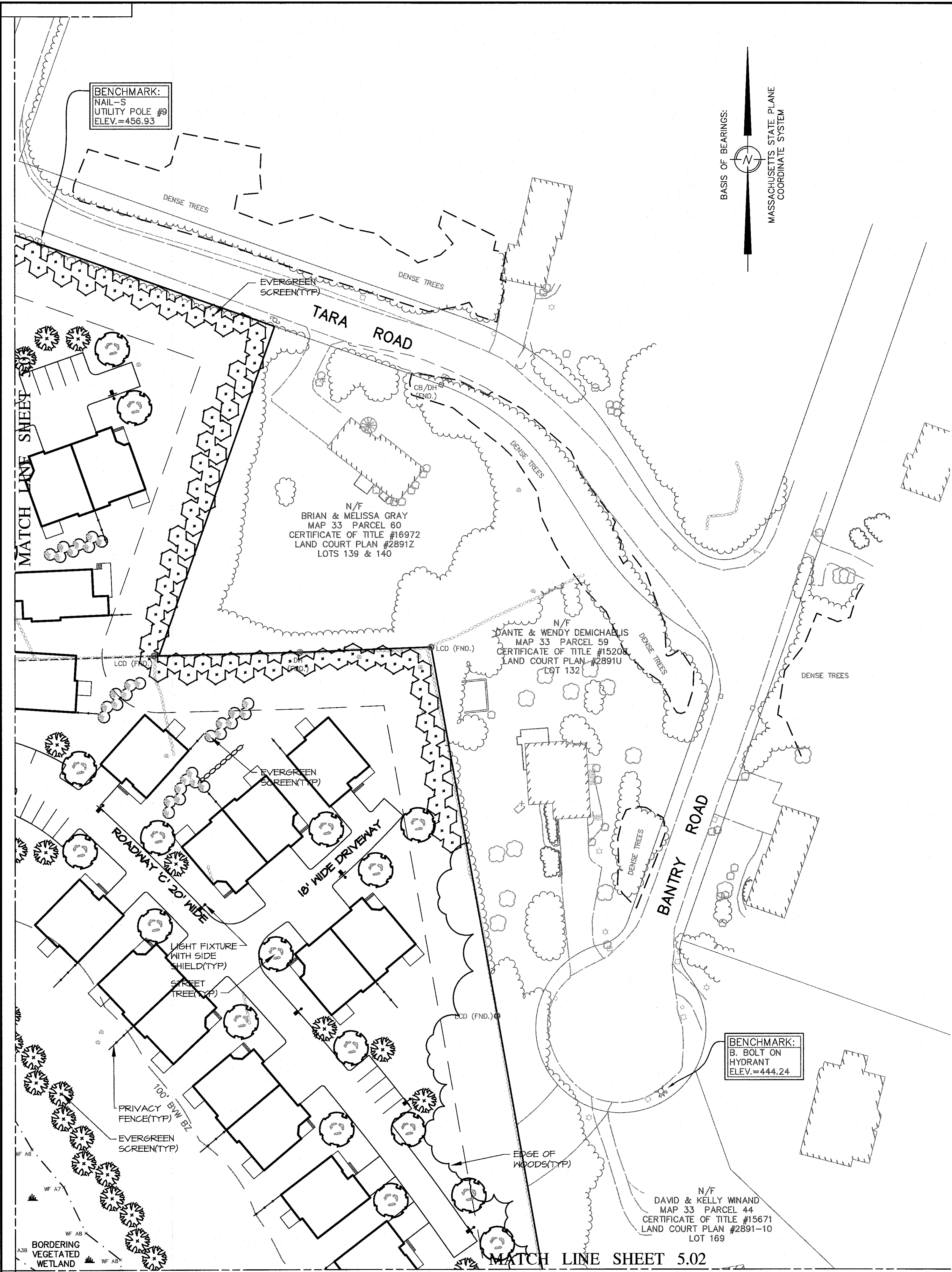
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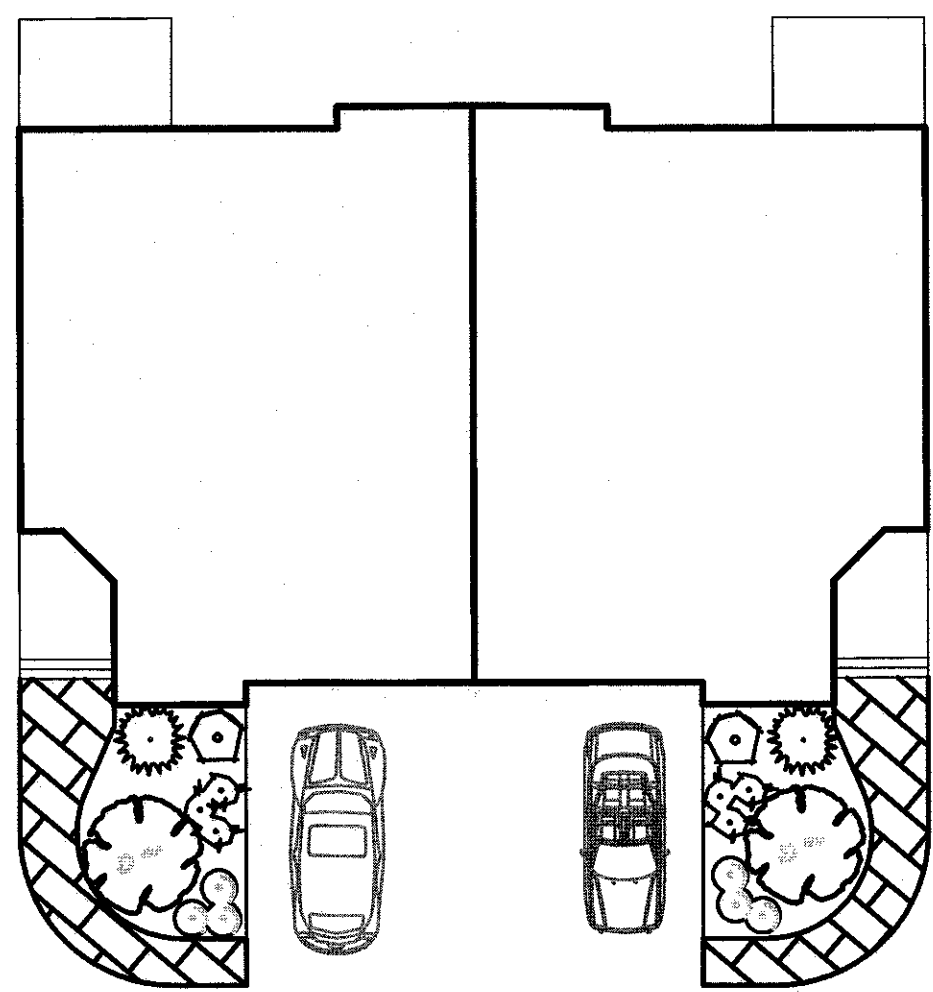
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LANDSCAPE AND LIGHTING PLAN
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FILE NO.:	0978400	CHK'D. BY:	
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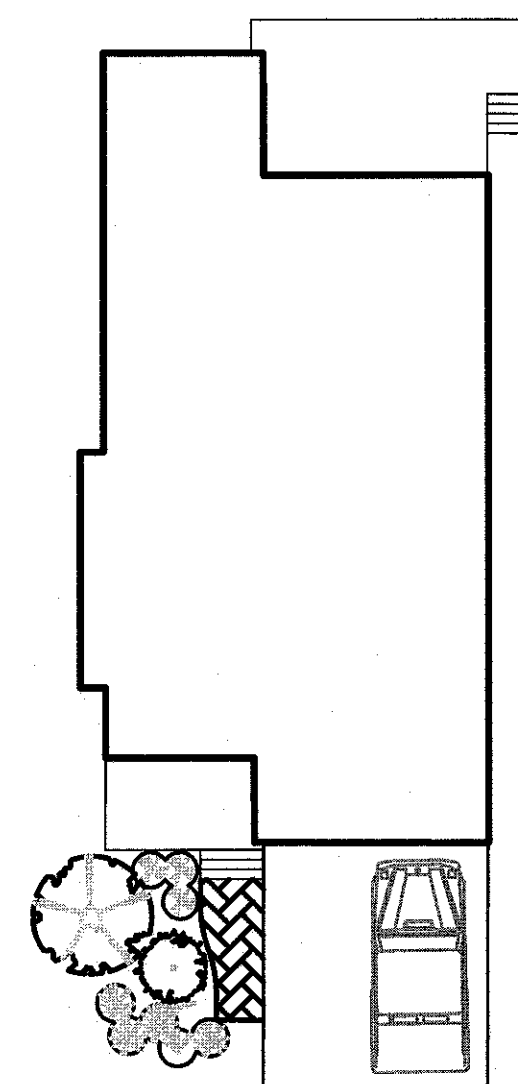




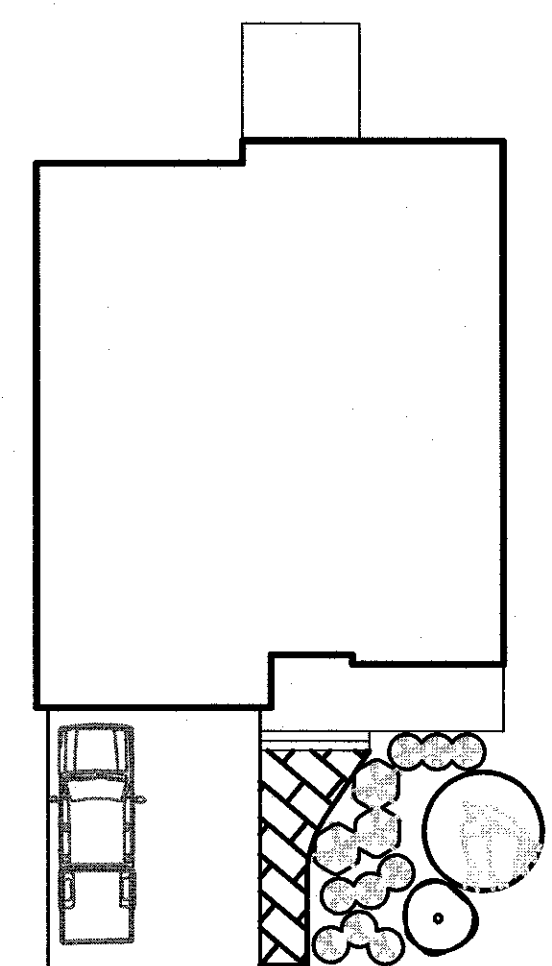
TYPICAL PLANTING
TWO-FAMILY TOWN HOUSE



TYPICAL PLANTING
SINGLE-FAMILY TOWN HOUSE



TYPICAL PLANTING
SINGLE-FAMILY TOWN HOUSE



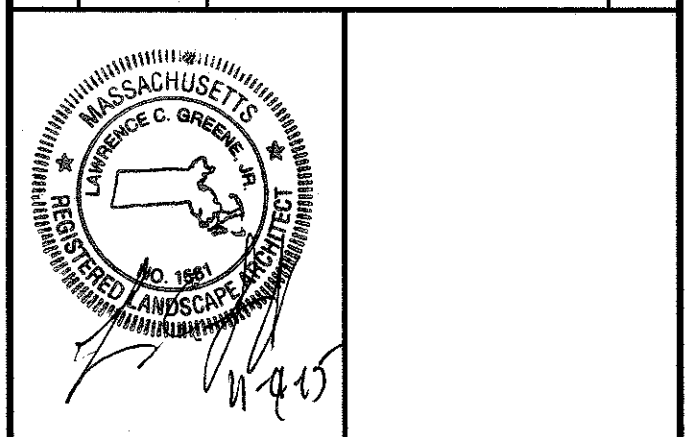
PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
SHRUBS			
CS	CORNUS STOLONIFERA 'ARCTIC FIRE'	ARCTIC FIRE RED TWIG DOGWOOD	30" HT.
IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	30" HT.
JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN CHINESE JUNIPER	30" HT.
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	24" SP.
MP	MYRICA PENNSYLVANIA	NORTHERN BAYBERRY	18"-24" HT
AM	AZALEA 'MAJESTY'	MAJESTY AZALEA	18" SP.
SJ	SPIRAEA JAPONICA 'GOLD FLAME'	GOLD FLAME SPIRAEA	18" SP.
RC	RHODODENDRON 'CUNNINGHAM'S WHITE'	CUNNINGHAM'S WHITE RHOD.	24" HT.
PERENIALS/GROUNDCOVERS			
MS	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	#3
PH	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	#3
JH	JUNIPERUS HORIZONTALIS 'WILTON'	BLUE RUG JUNIPER	18" SP.
PS	PHLOX SUBULATA EMERALD PINK	EMERAND PINK CREEPING PHLOX	2 QT. POT
PT	PACTSANDRA TERMINALIS 'GREEN CARPET'	GREEN CARPET SPURGE	FLAT
VM	VINCA MINOR	PERIWINKLE	#1 POT

* THE QUANTITIES PROVIDED ARE TOTALS FOR EACH OF THE FIVE PLANT MATERIAL CATEGORIES. BIDS ARE TO BE PROVIDED BASED ON THE AVERAGE COST OF THE SPECIES LISTED IN EACH CATEGORY TIMES THE TOTAL QUANTITY.

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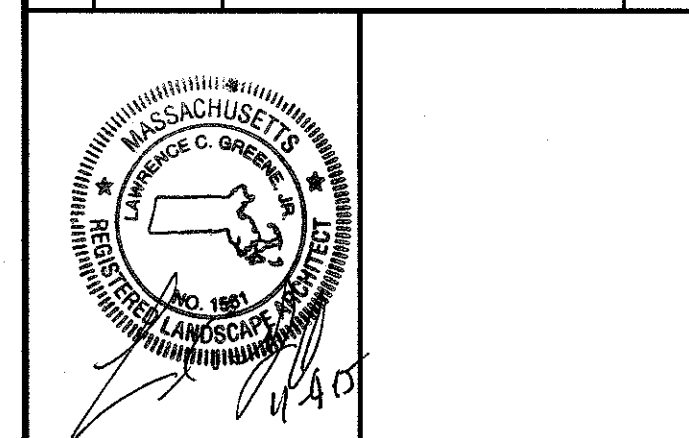
TITLE:
LANDSCAPE AND LIGHTING PLAN
PARK CENTRAL
Southborough, MA
(Worcester County)
PERMITTING

DATE: 11/04/15		SCALE: 1" = 40'	
JOB NO.:	0978.00	DWN. BY:	
FILE NO.:	0978400	CHK'D. BY:	
DRAWING NO.:	0978404A	SHEET:	C5.04



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A	11/04/15	PROGRESS SET	



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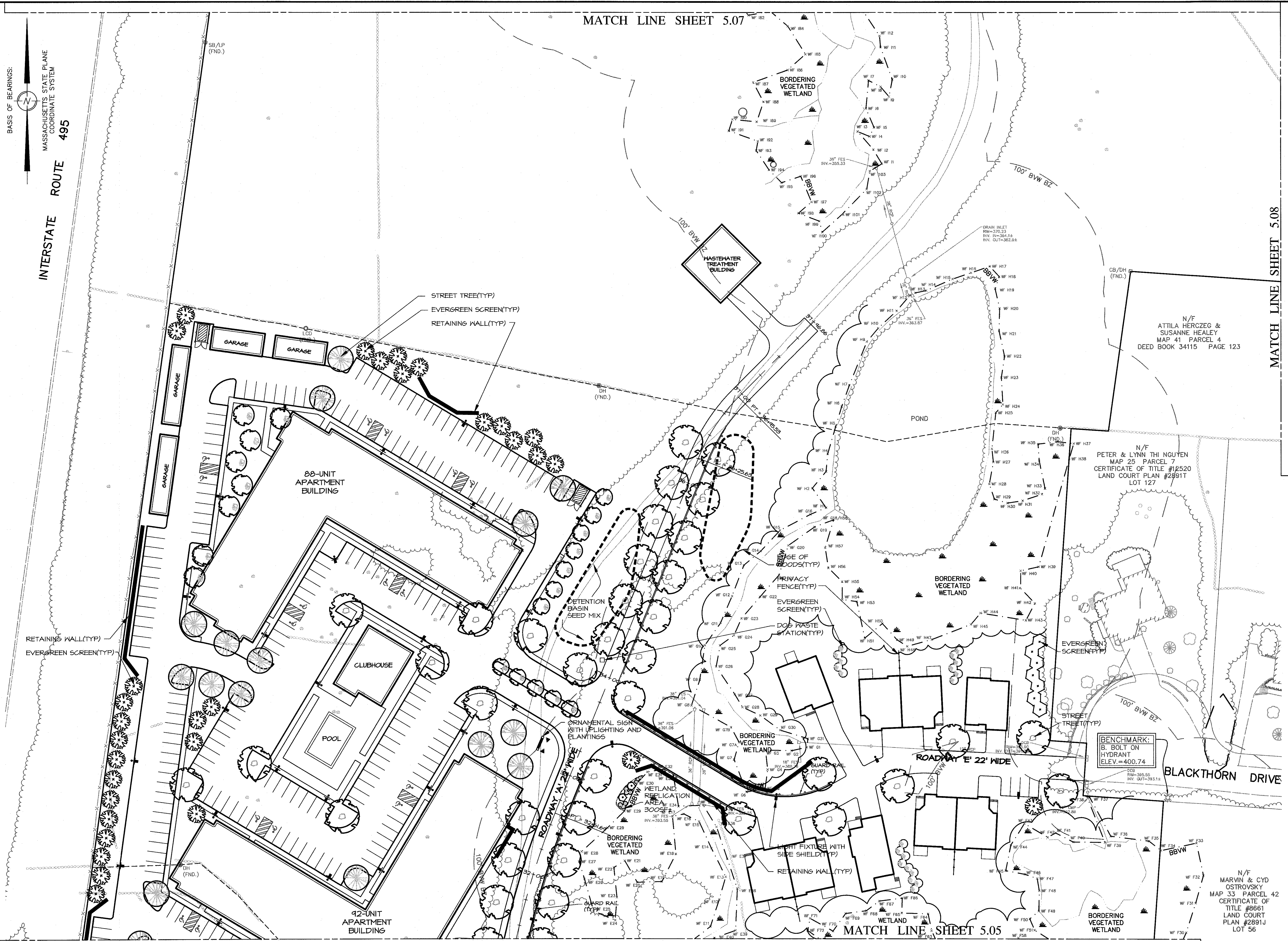
WATERMAN DESIGN ASSOCIATES, INC.
31 East Main Street
Westborough, MA 01581
508.366.6552
508.366.6506 (fax)
watermandesign.com wda@wdaassoc.com

OWNER:
PARK CENTRAL LLC
c/o Capital Group Properties
295 Turnpike Road, Suite 100
Southborough, MA 01772

PREPARED FOR:
CAPITAL GROUP PROPERTIES LLC
295 Turnpike Road, Suite 100
Southborough, MA 01772

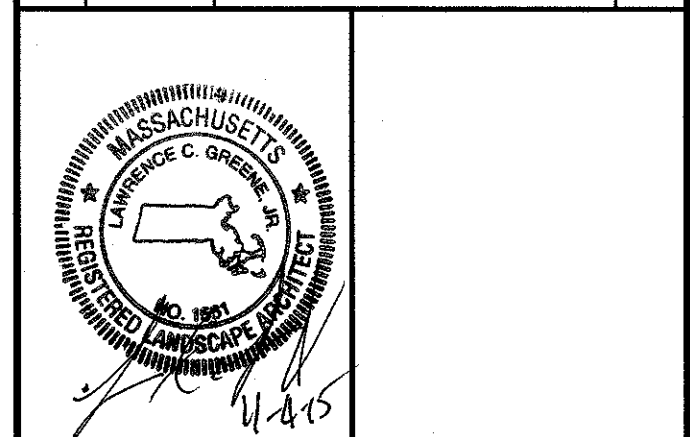
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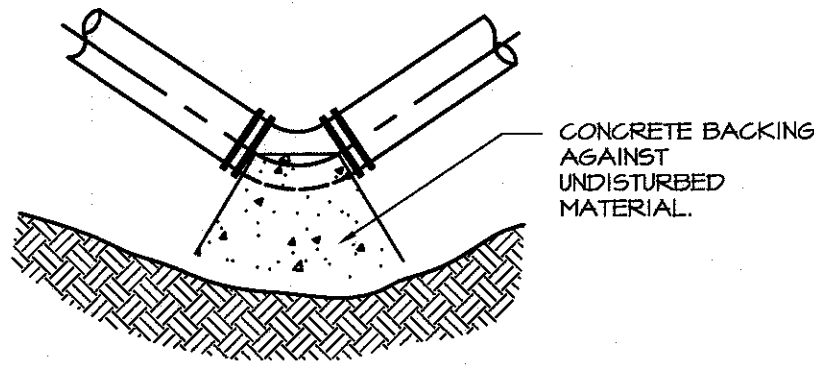
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Southborough, MA 01772

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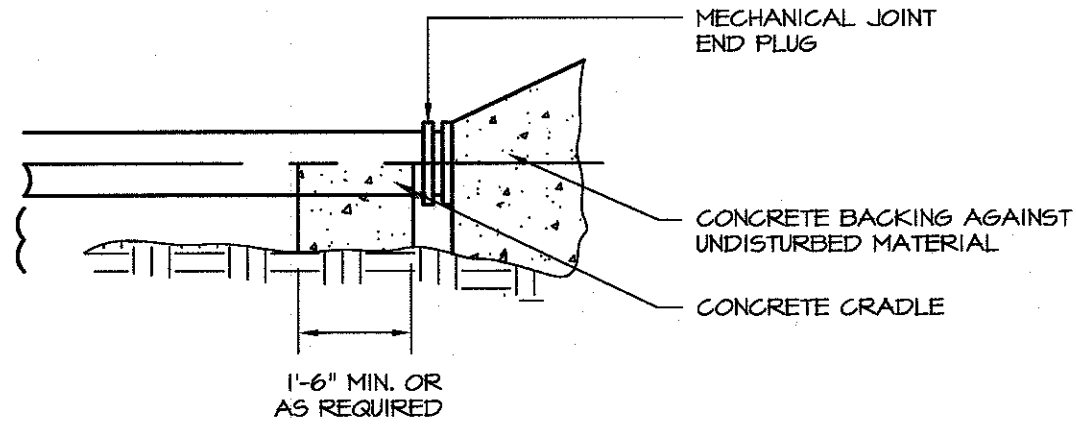
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DRAWING NO.:	0978406A	SHEET:	C5.06

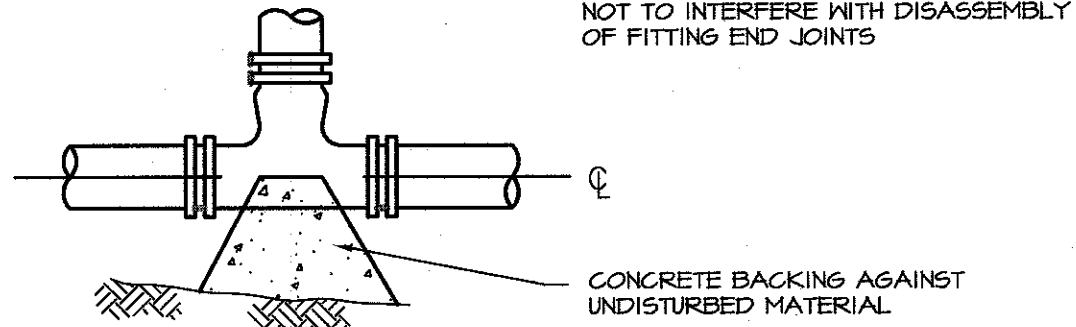
MINIMUM VERTICAL-PLANE BEARING AREAS FOR WATER MAIN FITTINGS (SF)			
SIZE OF MAIN (IN.)	22 1/2° BEND	45° BEND	TEES & PLUGS
8" OR LESS	8	8	10
10" & 12"	13	22	16



HORIZONTAL BEND



TYPICAL PLUG OR END CAP (ELEVATION VIEW)



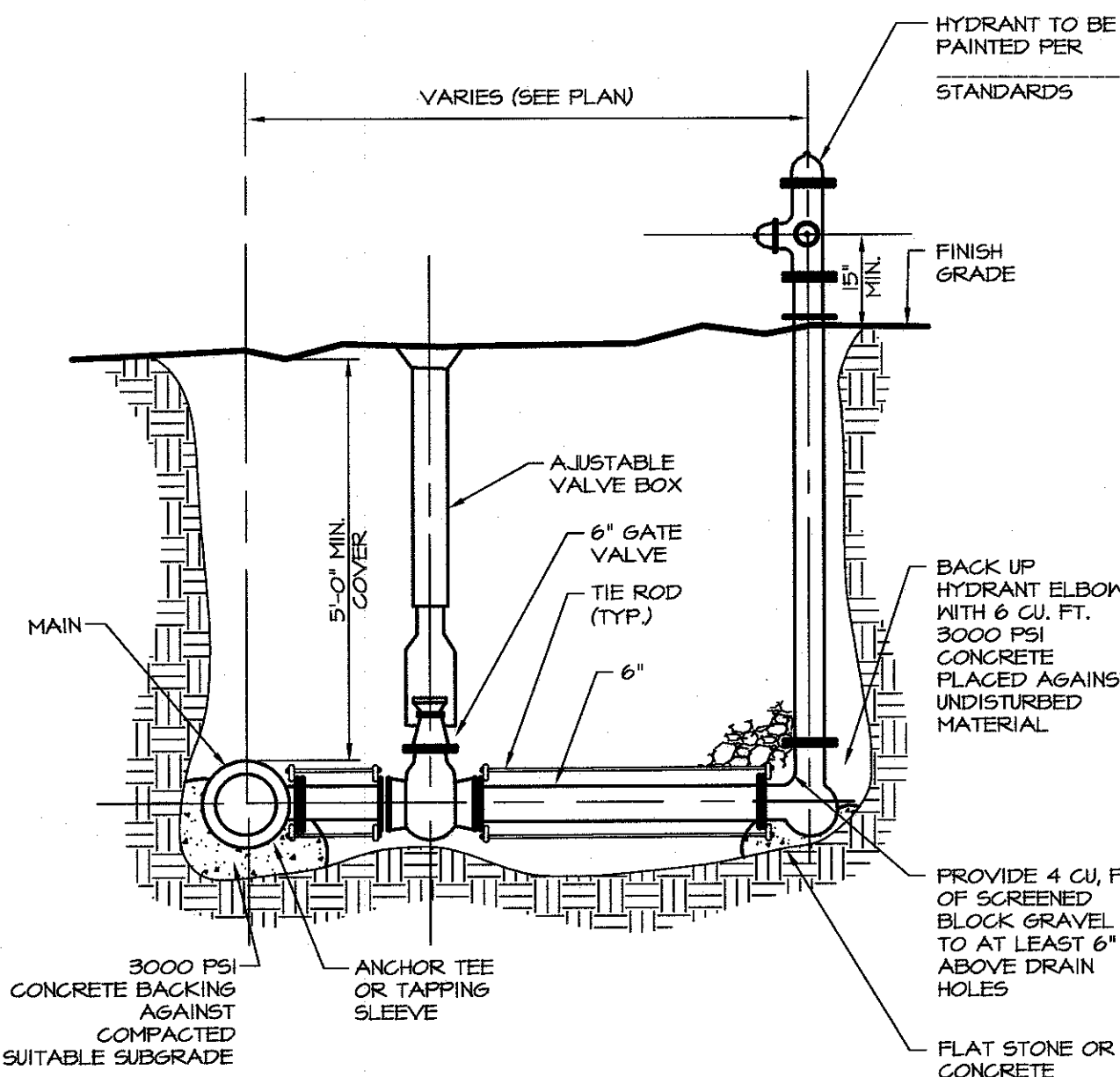
TYPICAL TEE

THRUST BLOCKS

N.T.S.

02510-06

WDA, INC.



NOTE: HYDRANT AND GATE VALVE TO BE RODDED TO ANCHOR TEE. FLANGES TO HAVE CAST ON LUGS (DOGS EARS) AT 2 AND 10 O'CLOCK FOR TIE RODS (3/4\"/>

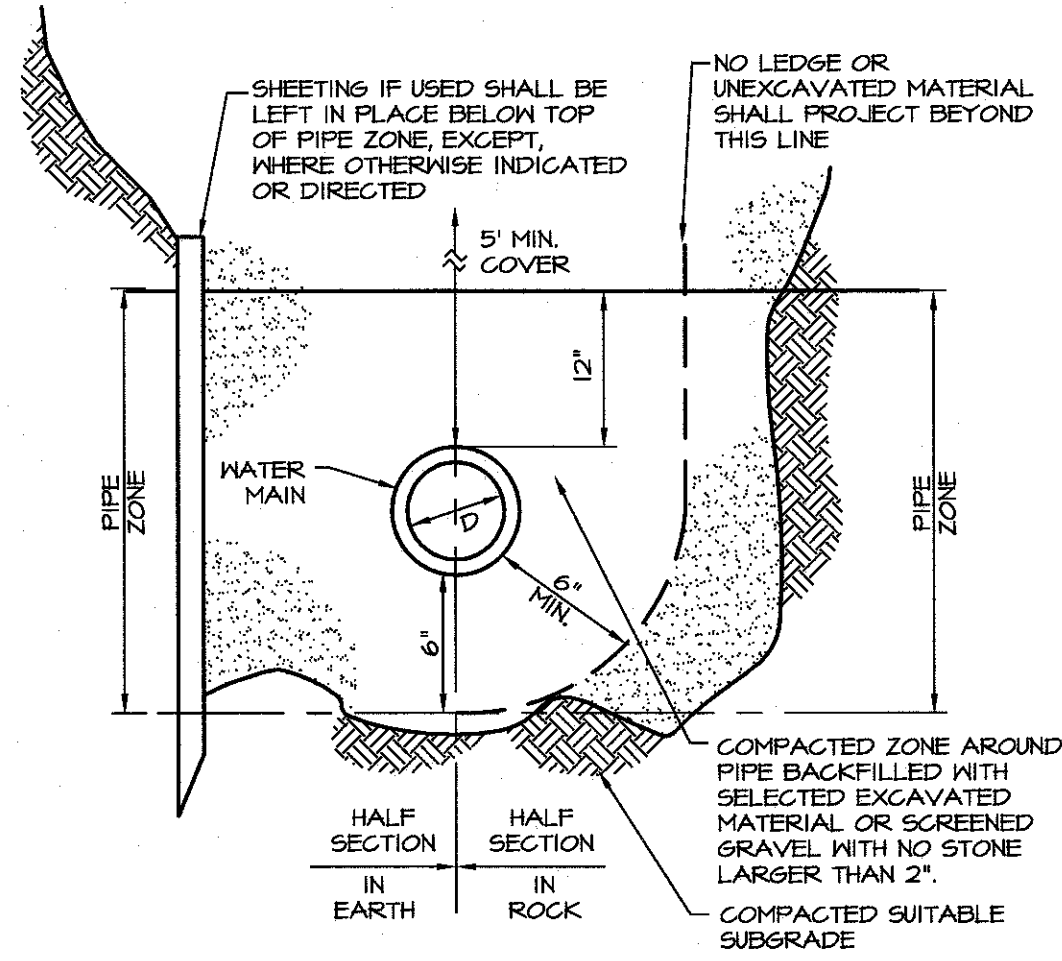
HYDRANT AND VALVE (HYD)

N.T.S.

02510-02

WDA, INC.

DIAMETER OF PIPE D.	TRENCH WIDTH	
	UNSHEETED	SHEETED
12" AND SMALLER	3'-0"	4'-2"
15"	3'-2"	4'-4"
18"	3'-6"	4'-8"
21"	3'-10"	5'-0"
24"	4'-2"	5'-4"
27"	4'-6"	5'-8"

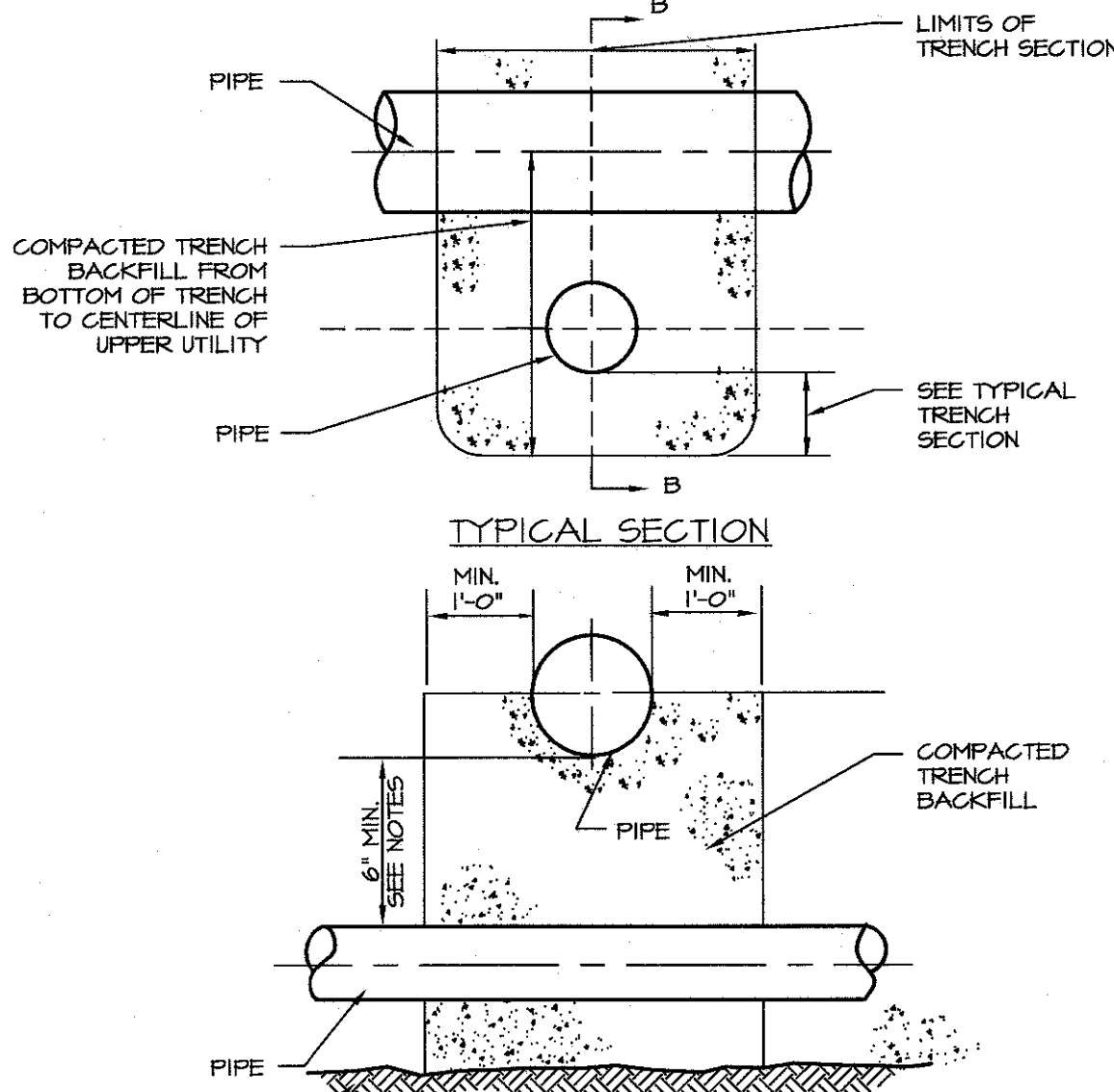


WATER MAIN TRENCH SECTION

N.T.S.

02510-03

WDA, INC.



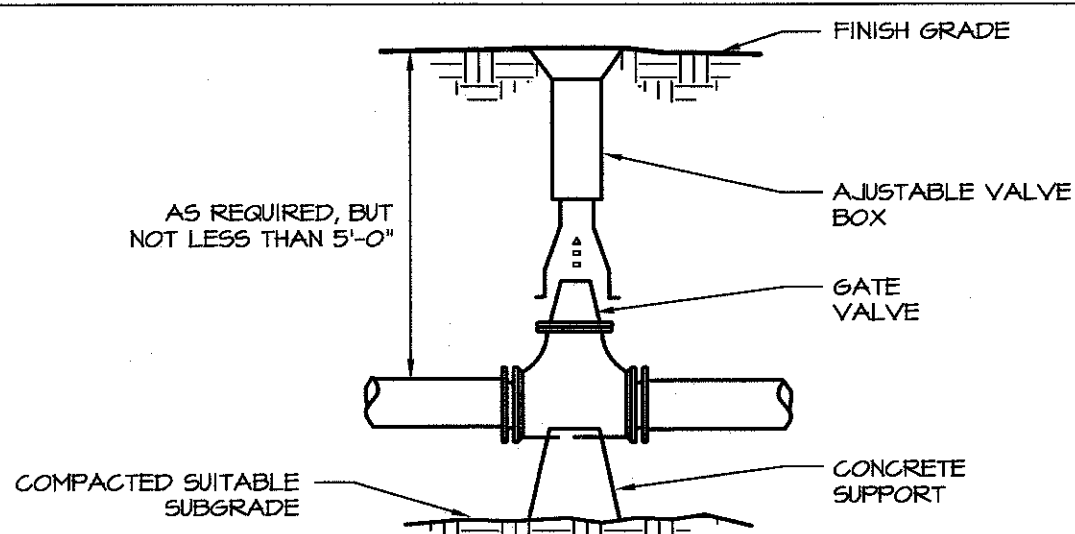
NOTES:
1. IF WATER MAIN AND SEWER CROSS, THE BOTTOM OF WATER SHALL BE AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER OR SEWER SHALL BE CONSTRUCTED OF ANNA C-400 PVC OR DUCTILE IRON PIPE.
2. IF SEWER MUST PASS OVER WATER MAIN, SEWER SHALL BE CONCRETE ENCASED A DISTANCE OF TEN (10) FEET EITHER SIDE OF WATER MAIN. ENCASEMENT SHALL BE PIPE DIA. PLUS A MINIMUM OF SIX (6) INCHES.

UTILITIES CROSSING

N.T.S.

02500-03

WDA, INC.

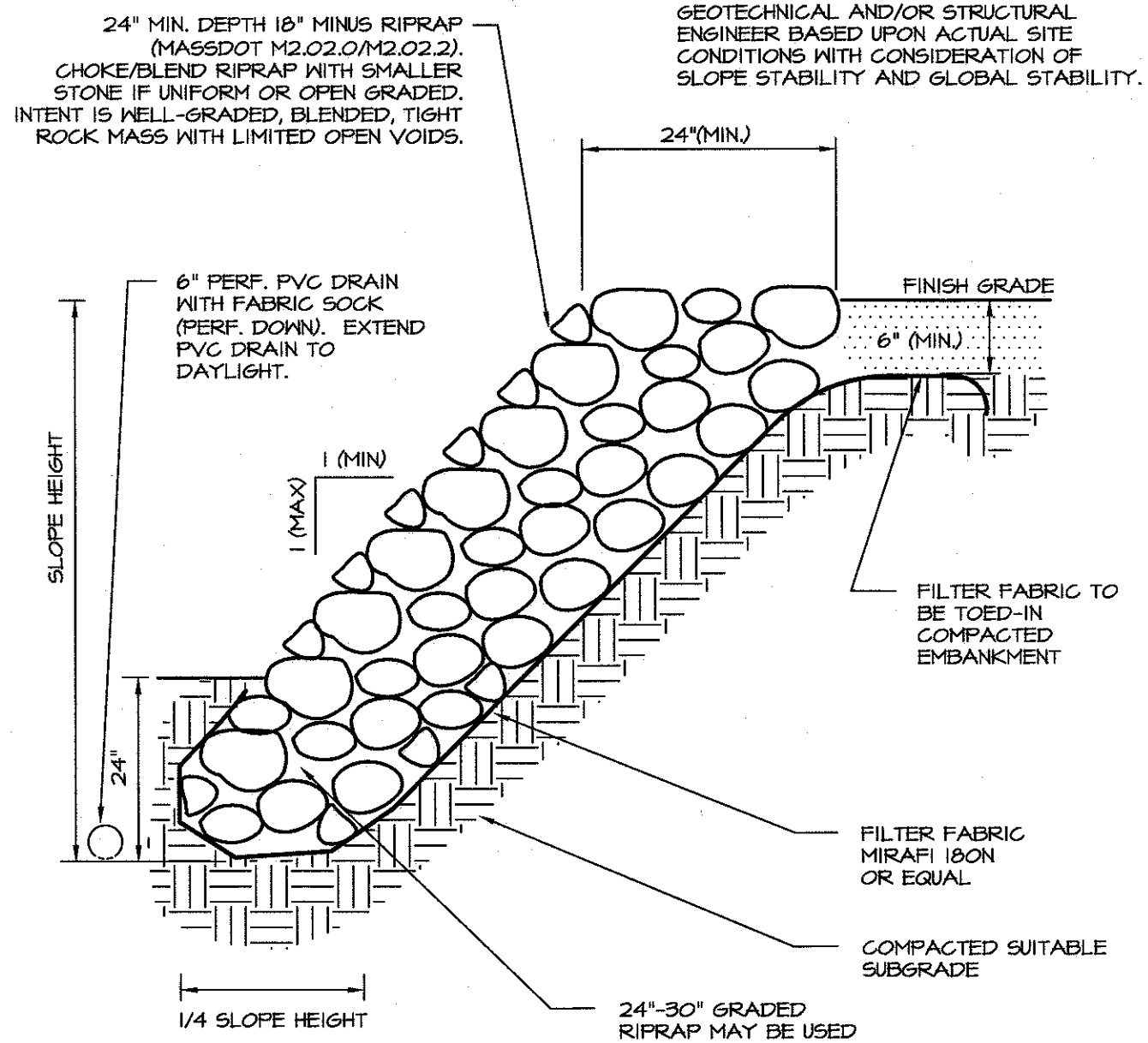


WATER GATE VALVE (WG)

N.T.S.

02510-01

WDA, INC.

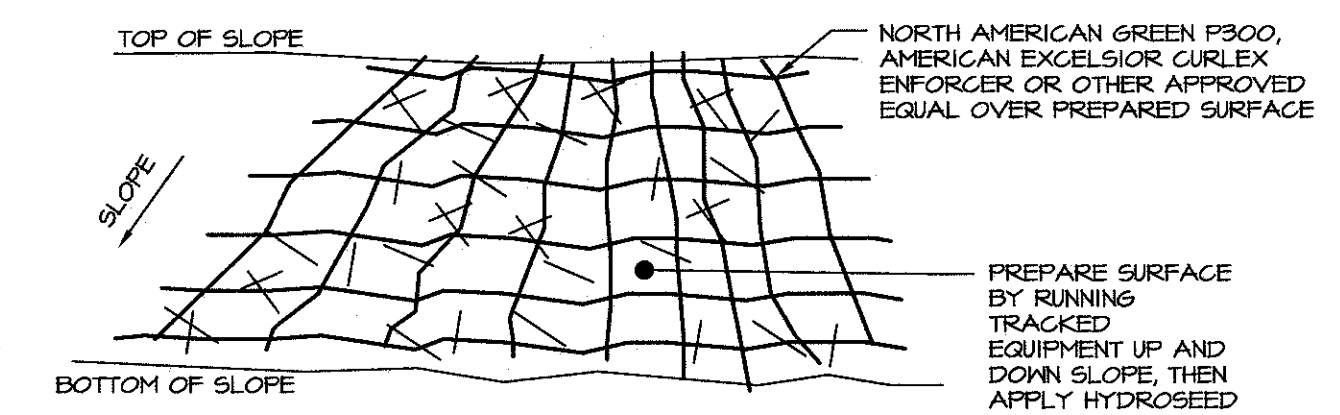


RIPRAP SLOPE PROTECTION

N.T.S.

02310-01

WDA, INC.



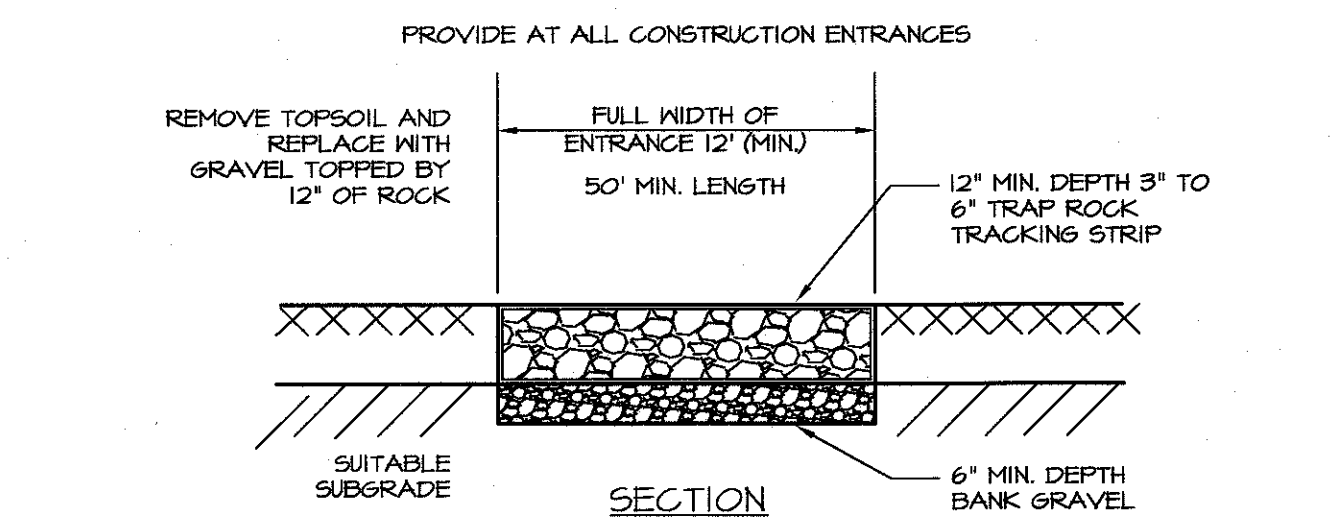
NOTE: TO BE INSTALLED ON ALL SLOPES STEEPER THAN 3:1 TO MAX. 2:1, STAPLE AND OVERLAP PER MANUFACTURER'S RECOMMENDATIONS

SLOPE STABILIZATION

N.T.S.

02310-04

WDA, INC.

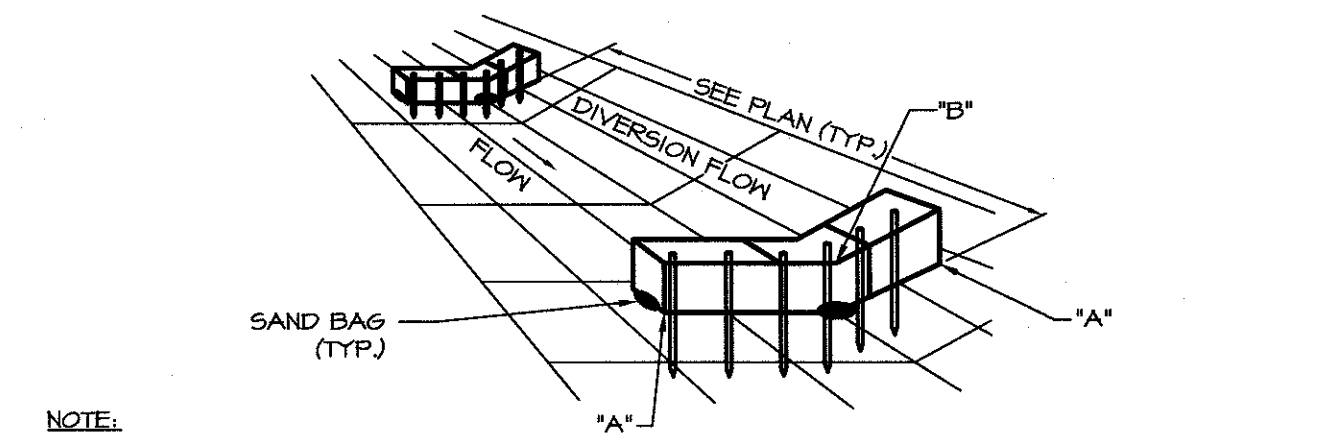


CONSTRUCTION ENTRANCE

N.T.S.

02700-13

WDA, INC.



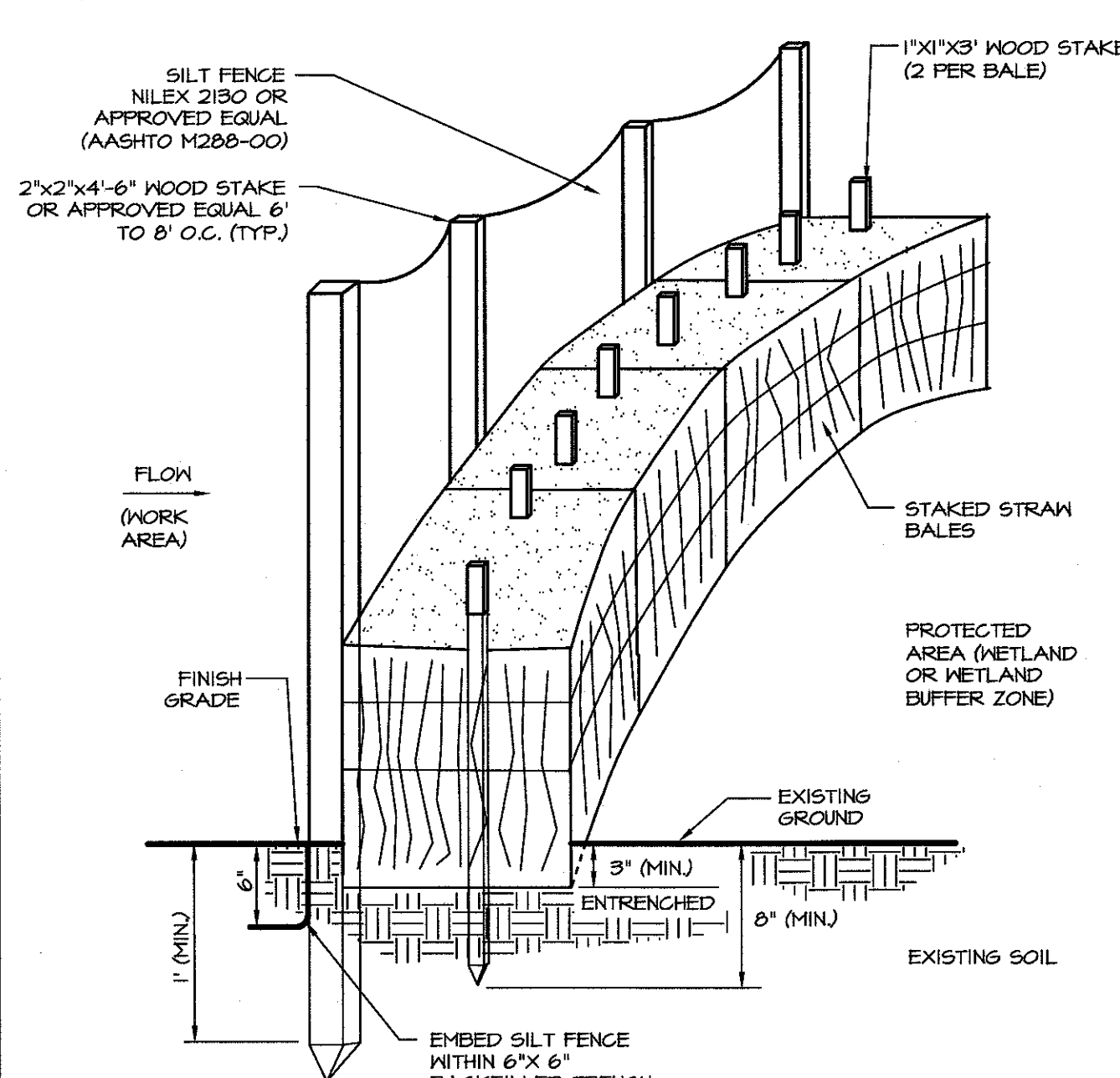
NOTE: EROSION CHECK TO BE OF BALES OF HAY SECURED TO THE GROUND WITH 2-3\"/>

STRAW BALE CHECKDAM

N.T.S.

02310-11

WDA, INC.



EROSION CONTROL BARRIER (ECB)

N.T.S.

02310-02

WDA, INC.

MUTCD REFERS TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 1988 EDITION (AS AMENDED) AND/OR STANDARD HIGHWAY SIGNS, 1973 (AS AMENDED), BOTH ISSUED BY THE USDOT/FHWA.

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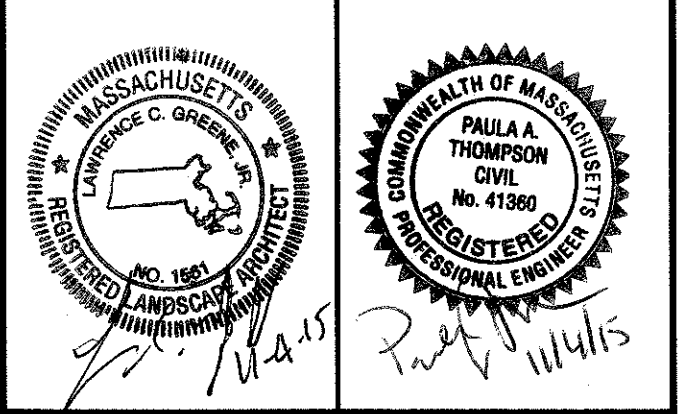
MHDS REFERS TO MASS. HIGHWAY DEPT. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 (AS AMENDED).

DPW REFERS TO LOCAL DEPARTMENT OF PUBLIC WORKS.

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PREPARED FOR:

CAPITAL GROUP PROPERTIES LLC

295 Turnpike Road, Suite 100
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TITLE:

SITE DETAILS

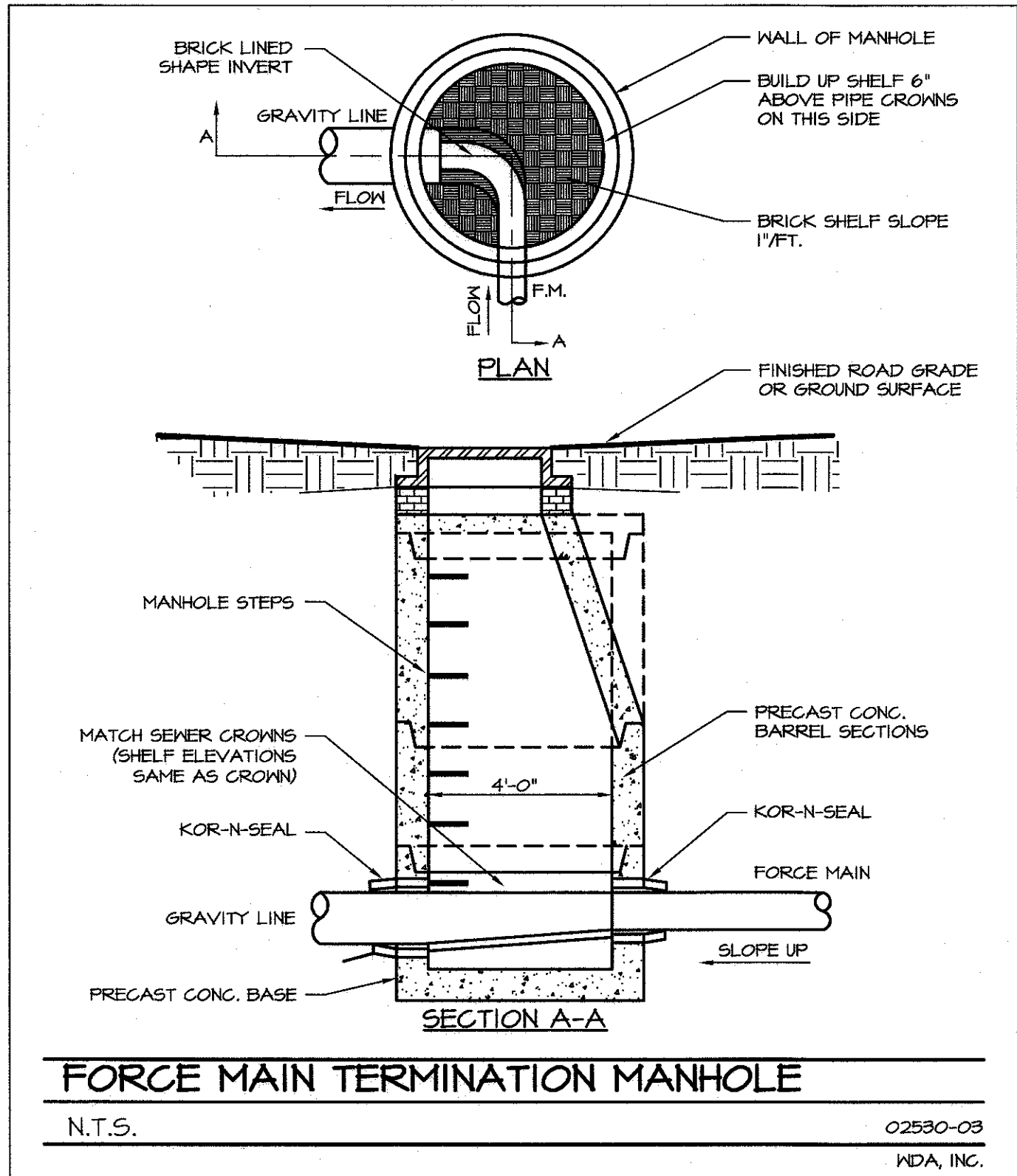
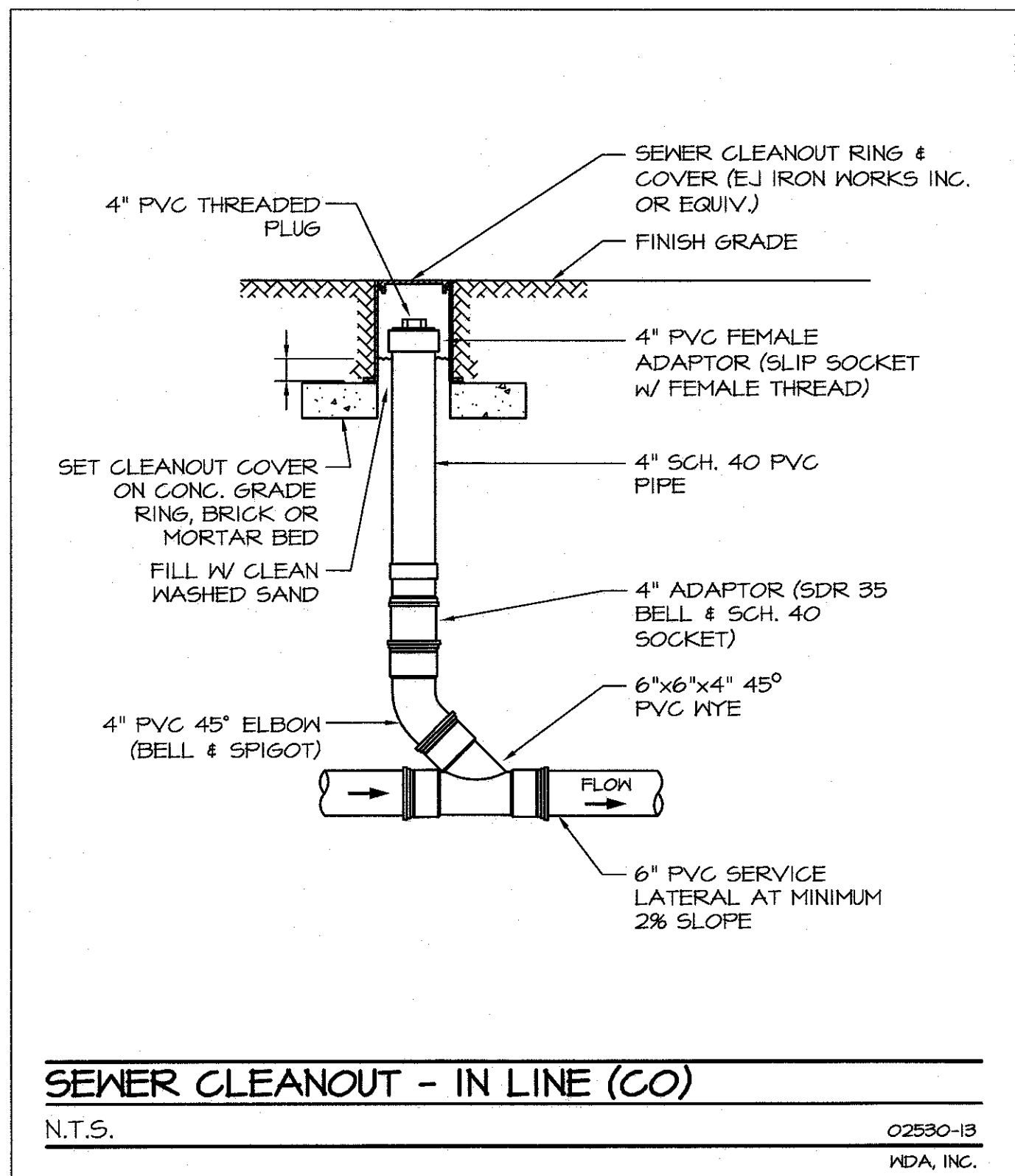
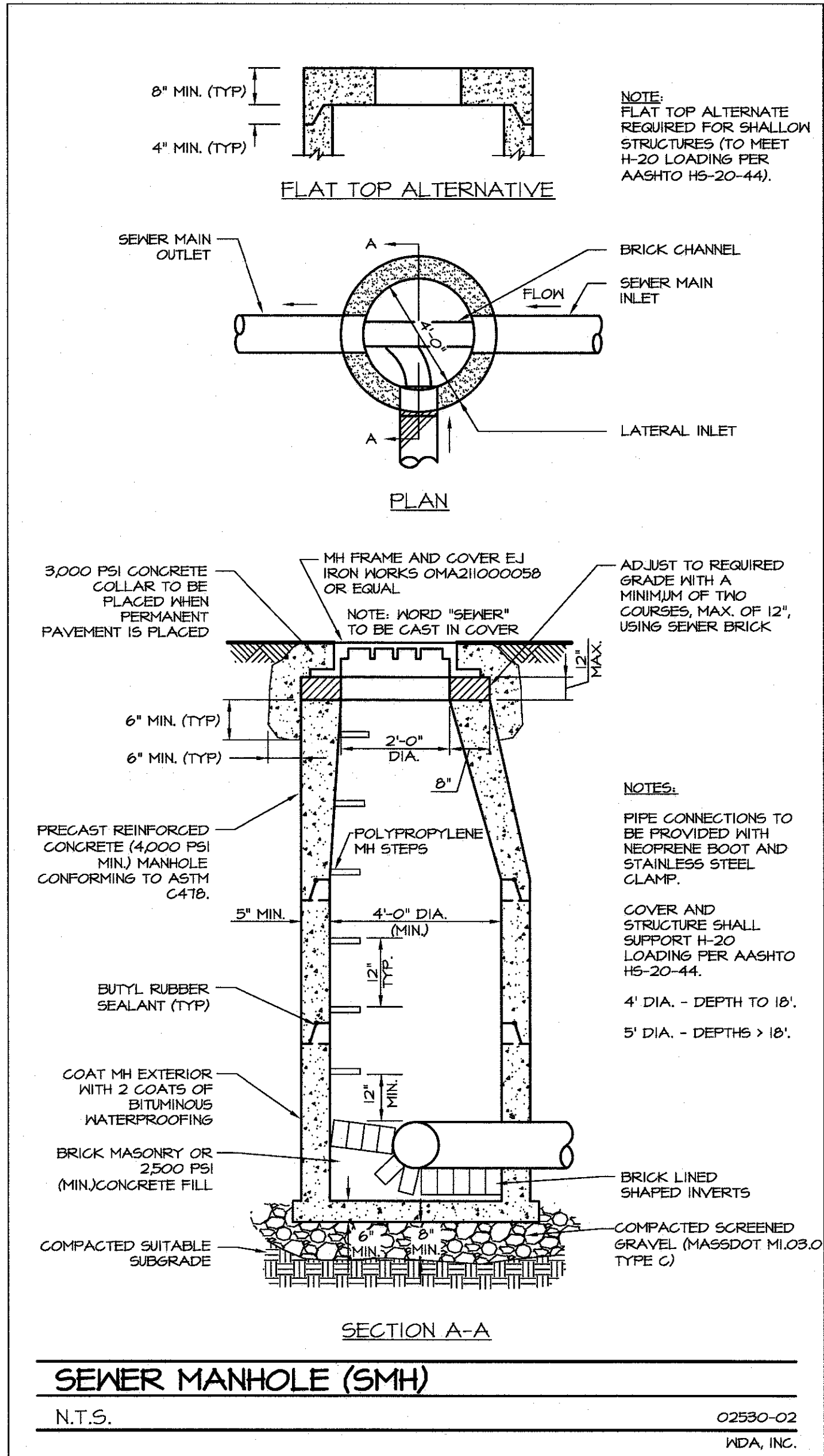
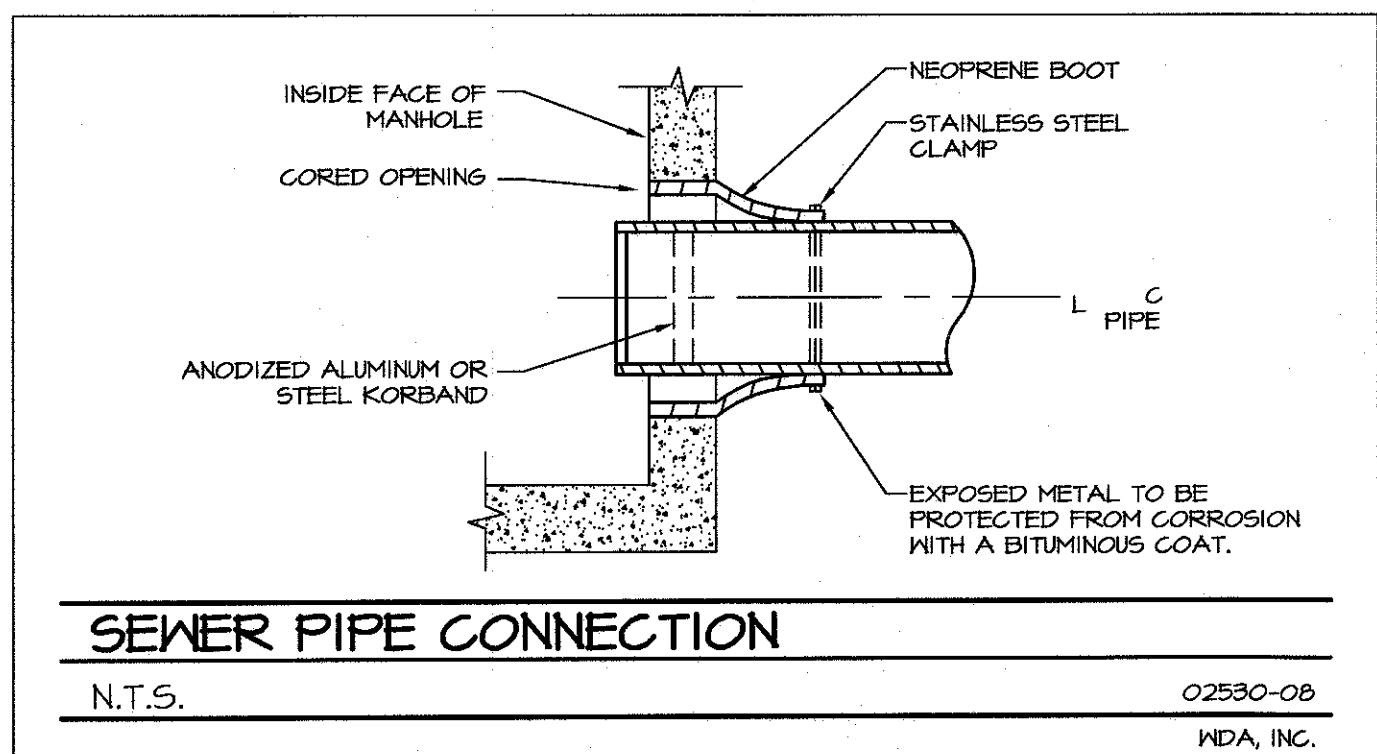
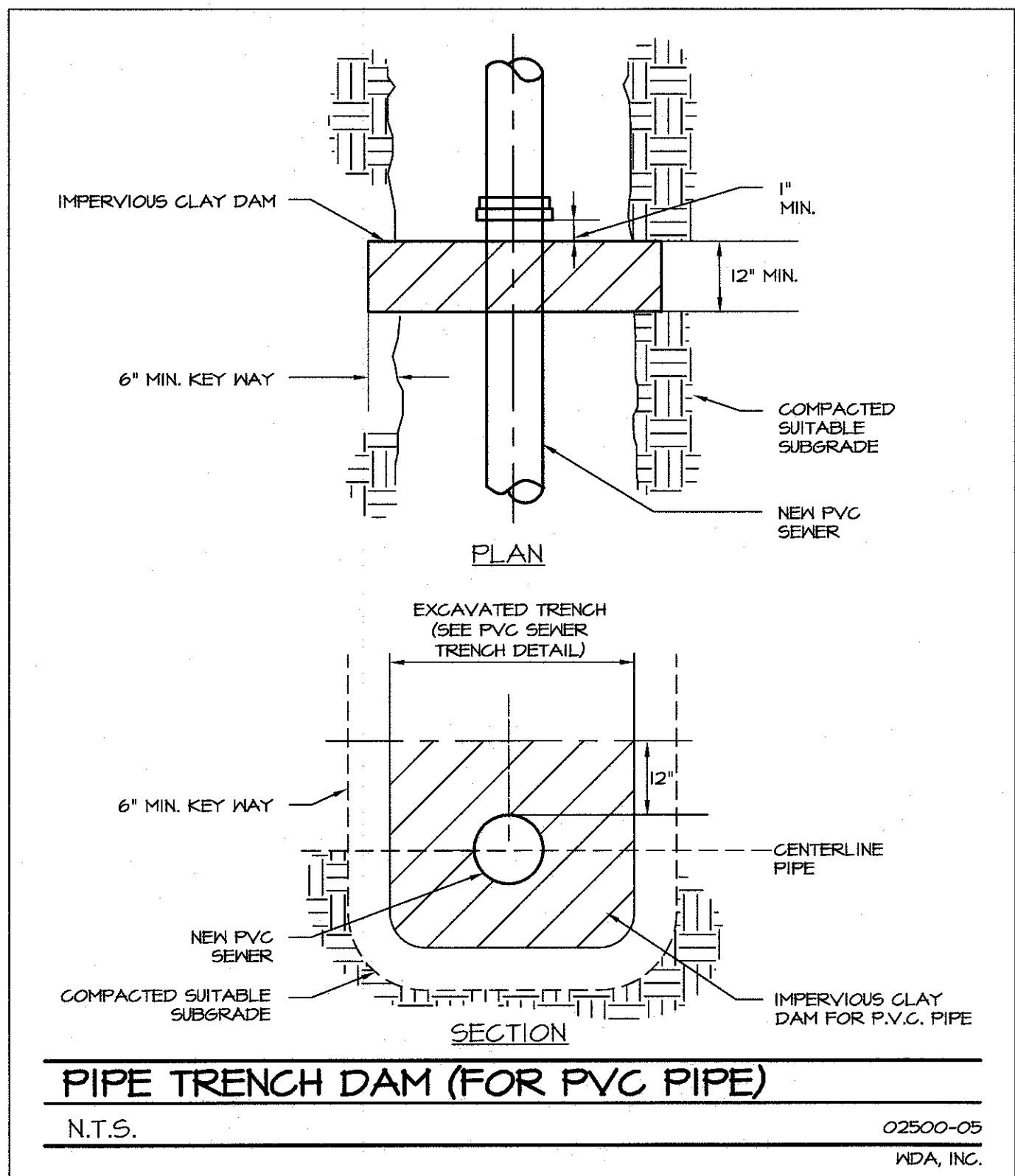
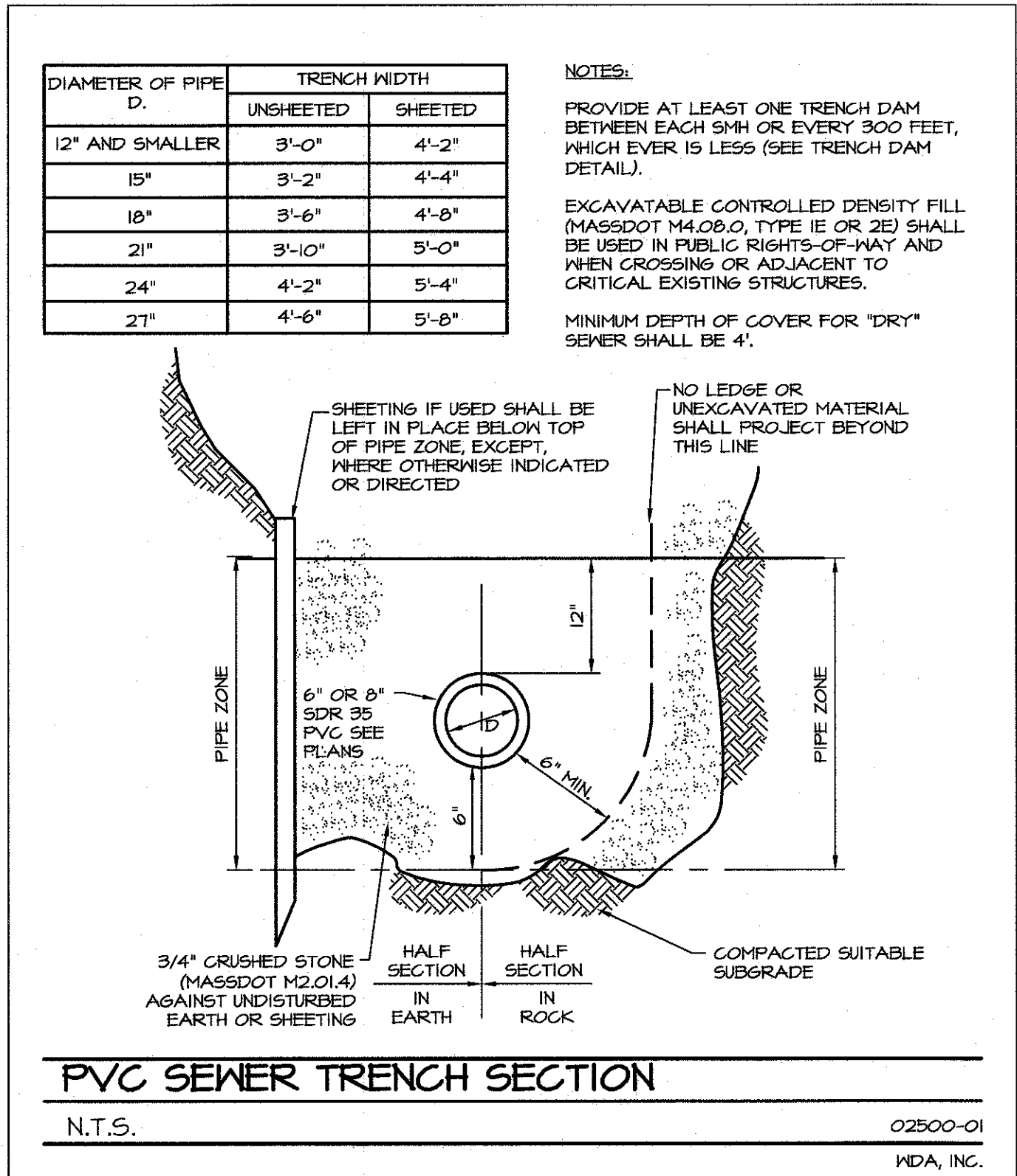
PARK CENTRAL

Southborough, MA
Worcester County)

TOWN PERMITTING



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FILE NO.:	0978500	CHK'D. BY:	
DRAWING NO.:	0978500A	SHEET:	C6.00

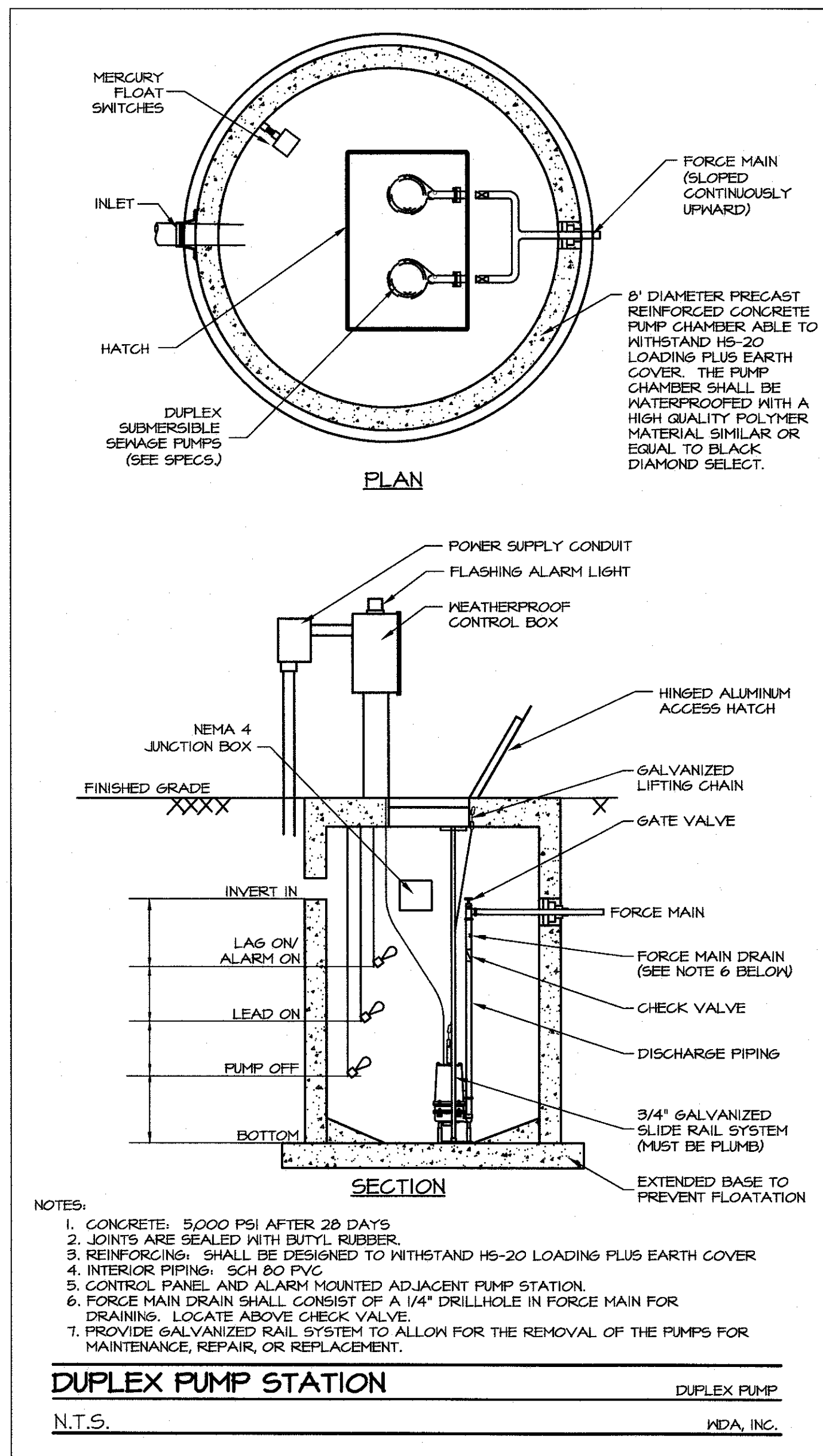
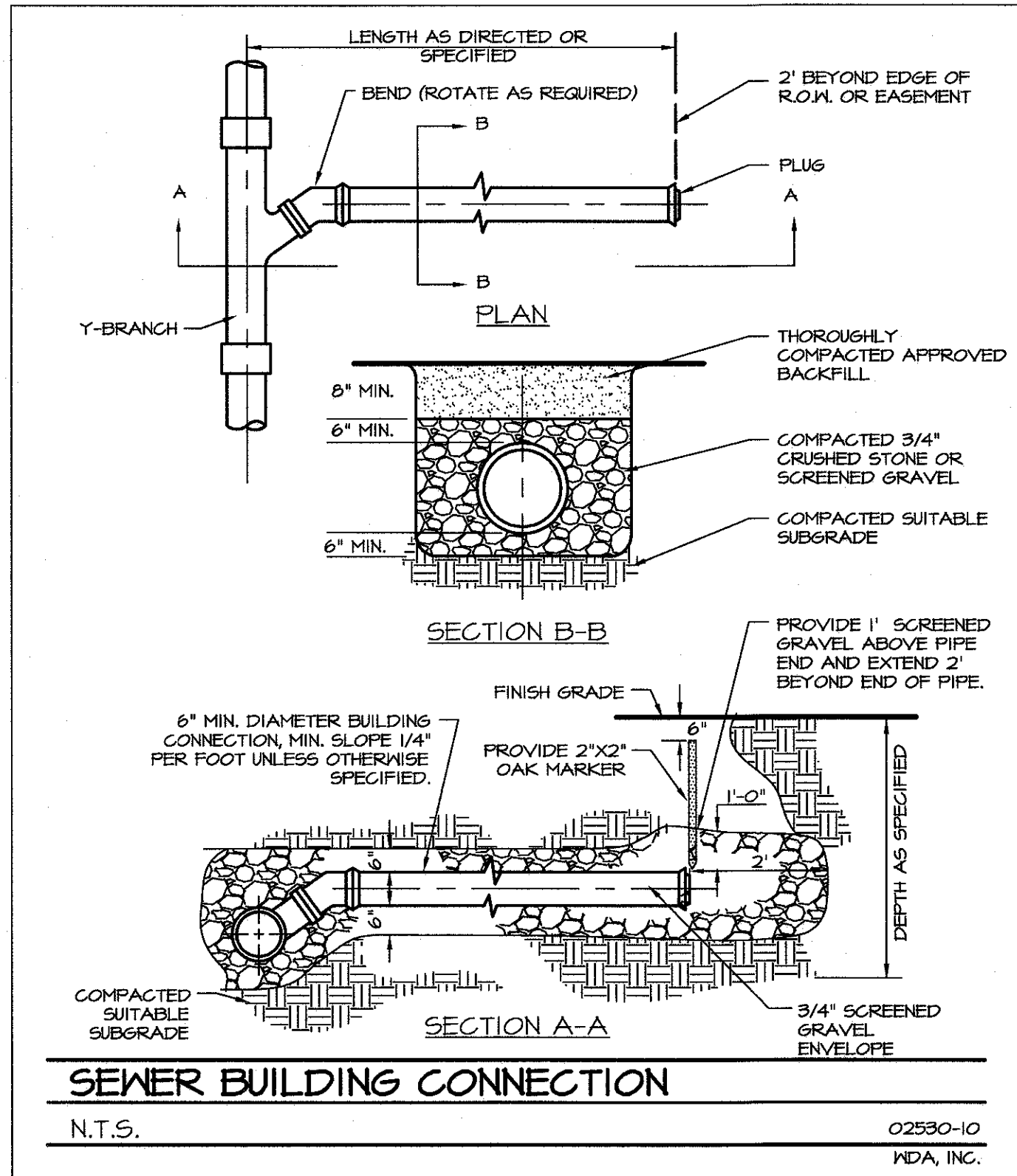


SANITARY SEWER MANHOLE TESTING

- A. Vacuum testing of sanitary sewer manholes shall be conducted and results shall be submitted to the Owner and Local DPW. The vacuum test shall only be used prior to backfilling of manholes. All lift holes shall be plugged prior to testing. The test head shall be placed at the inside of the top of the cone section and the seal inflated in accordance with the manufacturers recommendations. A vacuum of 10 inches of mercury shall be drawn and the pump shut off. The manhole shall pass if the time for the vacuum to drop 9 inches is greater than 60 seconds for 48-inch diameter, 75 seconds for 60-inch diameter and 90 seconds for 72-inch diameter. If the manhole fails, the Contractor is to make necessary repairs with a non-shrink grout while the vacuum is being drawn and retest until satisfactory results are obtained. Repair/replacement and retesting shall be at no cost to the Owner.
- B. Leakage Testing
1. Leakage tests shall be made on sanitary manholes if required by the Local DPW. The test shall be by infiltration and/or exfiltration as described below.
2. After the manhole has been assembled in place, all lifting holes and those exterior joints within 8 feet of the ground surface shall be filled and pointed with an approved non-shrink mortar. The tests shall be made prior to placing the shaft and invert and before filling and pointing of the horizontal joints below the 6-foot depth line. The Contractor shall furnish and put in place all temporary plugs and all equipment required to measure leakage rates. The Contractor shall furnish all water for testing purposes. All pipes and other openings into the manhole shall be suitably plugged and the plugs braced to prevent blow out.
3. Infiltration Test
- a. If the groundwater table is above the highest joint in the manhole, an infiltration test may be made. If observation indicates no visible leakage, that is, no water visibly moving down the interior surface of the manhole, the manhole shall be considered watertight, the manhole will be accepted and testing considered complete.
4. Exfiltration Test
- a. An exfiltration test shall be made if the groundwater level is not up to the highest joint, or the manhole has failed the infiltration test specified above.
- b. If the groundwater table has risen above the bottom of the manhole, it shall be lowered for the duration of the test. The manhole shall then be filled with water to the top of the cone section. If observation indicates no visible leakage, that is, no water visibly moving down the exterior surface of the manhole, the manhole may be considered to be satisfactorily watertight. If the test, as described above is unsatisfactory, repairs shall be made and the structure retested. A period of time may be permitted to allow for absorption, if the Contractor so requests. At the end of this period, the manhole shall be refilled to the top of the cone. If necessary, and the water level measured and recorded for a time of at least 8 hours. At the end of the test period the manhole shall be refilled to the top of the cone, measuring the volume of water added. This amount shall be extrapolated to a 24-hour rate and the leakage determined on the basis of the depth of drop. The leakage for each manhole shall not exceed 1 gallon per vertical foot for a 24-hour period. If the test fails this requirement, but the leakage does not exceed 3 gallons per vertical foot per day, repairs by approved methods may be made to bring the leakage within the allowable rate of 1 gallon per foot per day. Leakage due to a defective section or joint or leakage exceeding the 3 gallon per vertical foot per day rate, shall be cause for the rejection of the manhole. It shall be the Contractor's responsibility to disassemble, reconstruct or replace all manholes that do not pass the leakage test, at no cost to the Owner. The manhole shall then be retested and, if satisfactory, interior joints shall be filled and pointed, at no cost to the Owner.
- c. No adjustment in the leakage allowance will be made for unknown causes such as leaking plugs, absorption, etc., (i.e., it will be assumed that all loss of water during the test is a result of leaks through the joints or through the concrete). Furthermore, the Contractor shall take any steps necessary to assure the Engineer that the water table is below the bottom of the manhole throughout the duration of the test.

FORCE MAIN (PRESSURE) SANITARY SEWER LINE TESTING

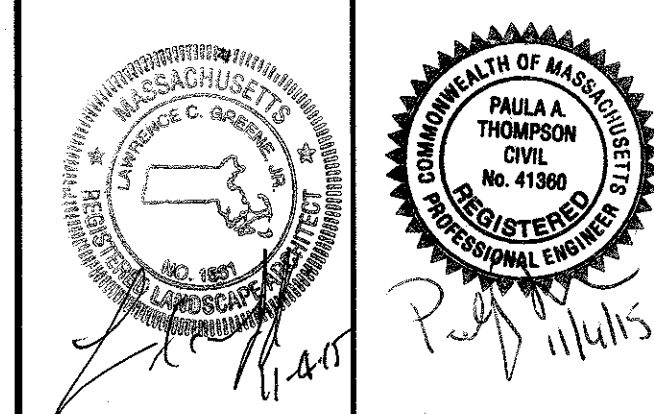
- A. Testing of force main (pressure) sewer lines shall be conducted by a Contractor approved by the Local DPW. Testing shall be witnessed by the Local DPW, as required.
- B. Prior to testing, all sewer lines shall be jetted to remove any rocks or debris that may have inadvertently entered the pipe during installation.
- C. Pressure and leakage tests will be made by the Contractor to determine that the PVC force main is structurally sound and does not constitute a potential for excessive leakage. The force main pipeline shall be subject to a hydrostatic pressure test with the water pressure equal to 1.5 times the anticipated working pressure of the force main (87 psig).
- D. When the force main has been filled with water to line pressure, but prior to being subject to test pressures, air shall be bled from the pipeline.
- E. Water pressure shall be raised to test pressure carefully, so as not to shock (import impact energy to) the force main. Water shall be drawn from a tank of a size and shape, which will allow accurate measurement and recording of the water volume drawn from the tank over time. The contractor shall record the rate at which water is pumped into the line to maintain test pressure.
- F. The force main shall be considered adequate if leakage does not exceed the following:
- | Pipe Diameter (inches) | Maximum Leakage Rate per 1,000 ft. of pipeline (gal./hr.) |
|------------------------|---|
| < 4 | 0.27 |
| 4 | 0.27 |
| 6 | 0.41 |
- Should leakage exceed the rates specified above, the Contractor shall immediately locate the section(s) of the pipeline where the leak(s) are present and repair or replace the section(s) at no cost to the Owner. The repaired/replaced section(s) shall be retested in accordance with this Section at no cost to the Owner.
- G. If television inspection, or other tests or inspections are required to locate leaks, or to satisfy municipal requirements, the Contractor shall provide same at no cost to the Owner.



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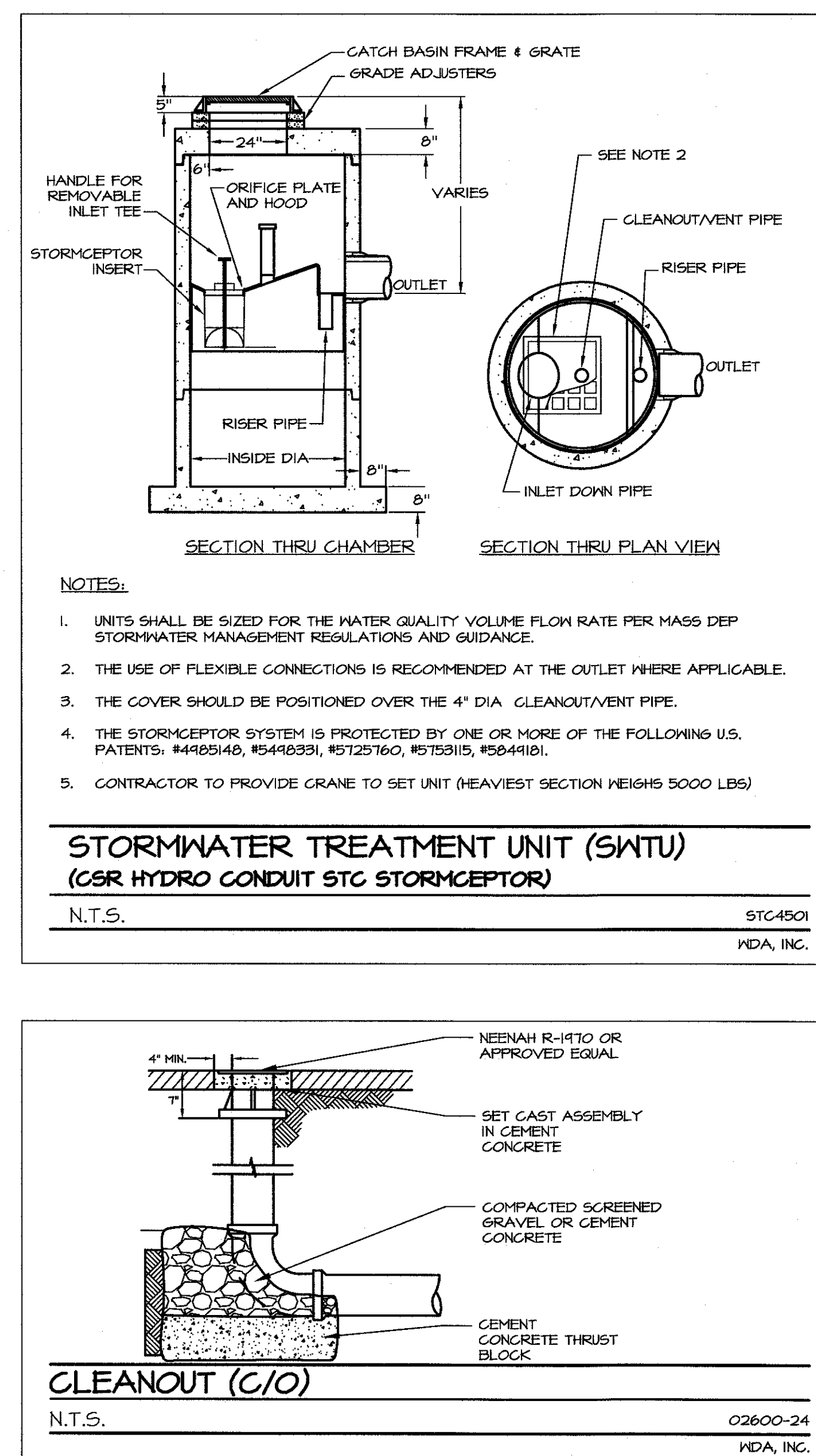
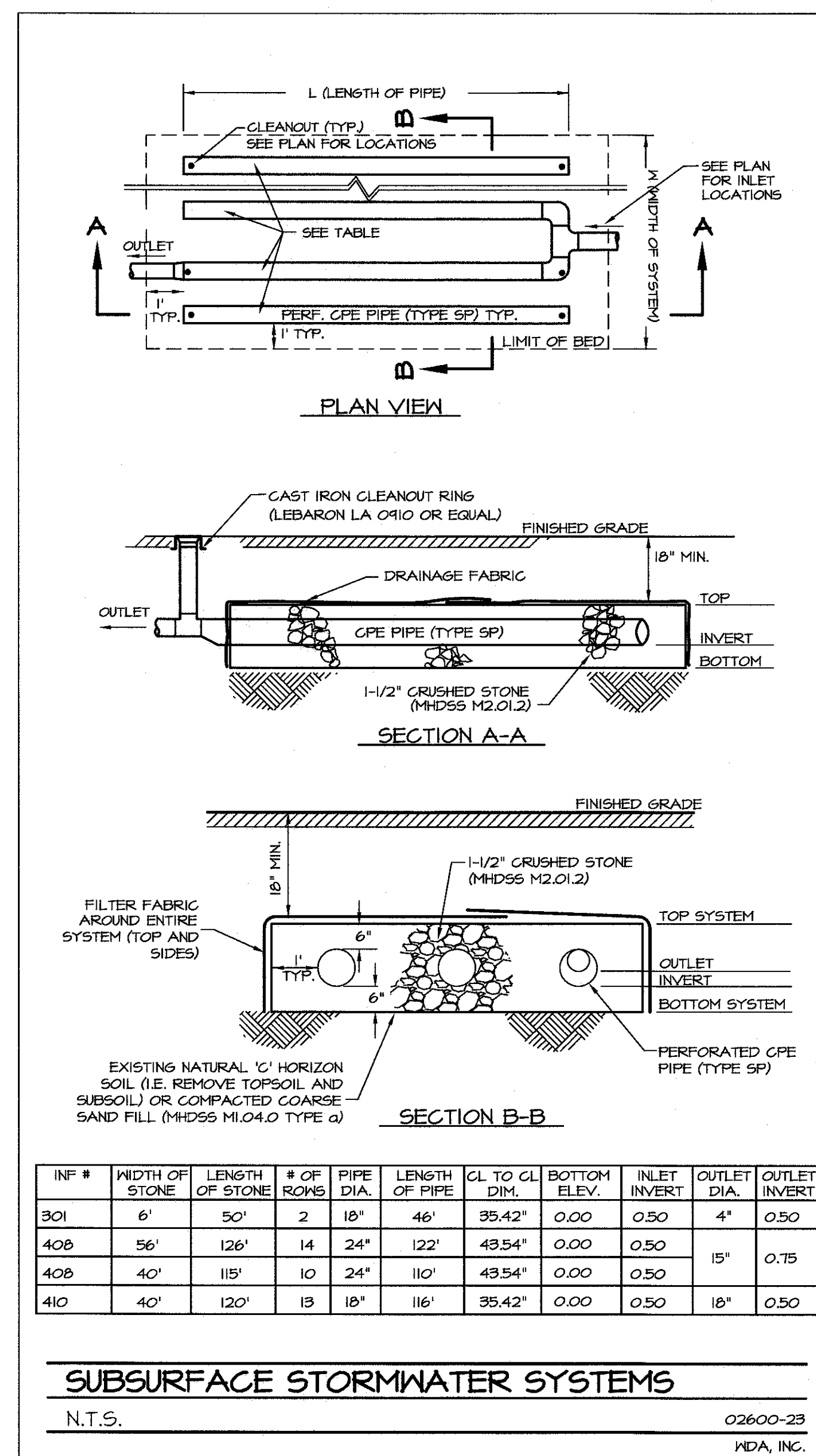
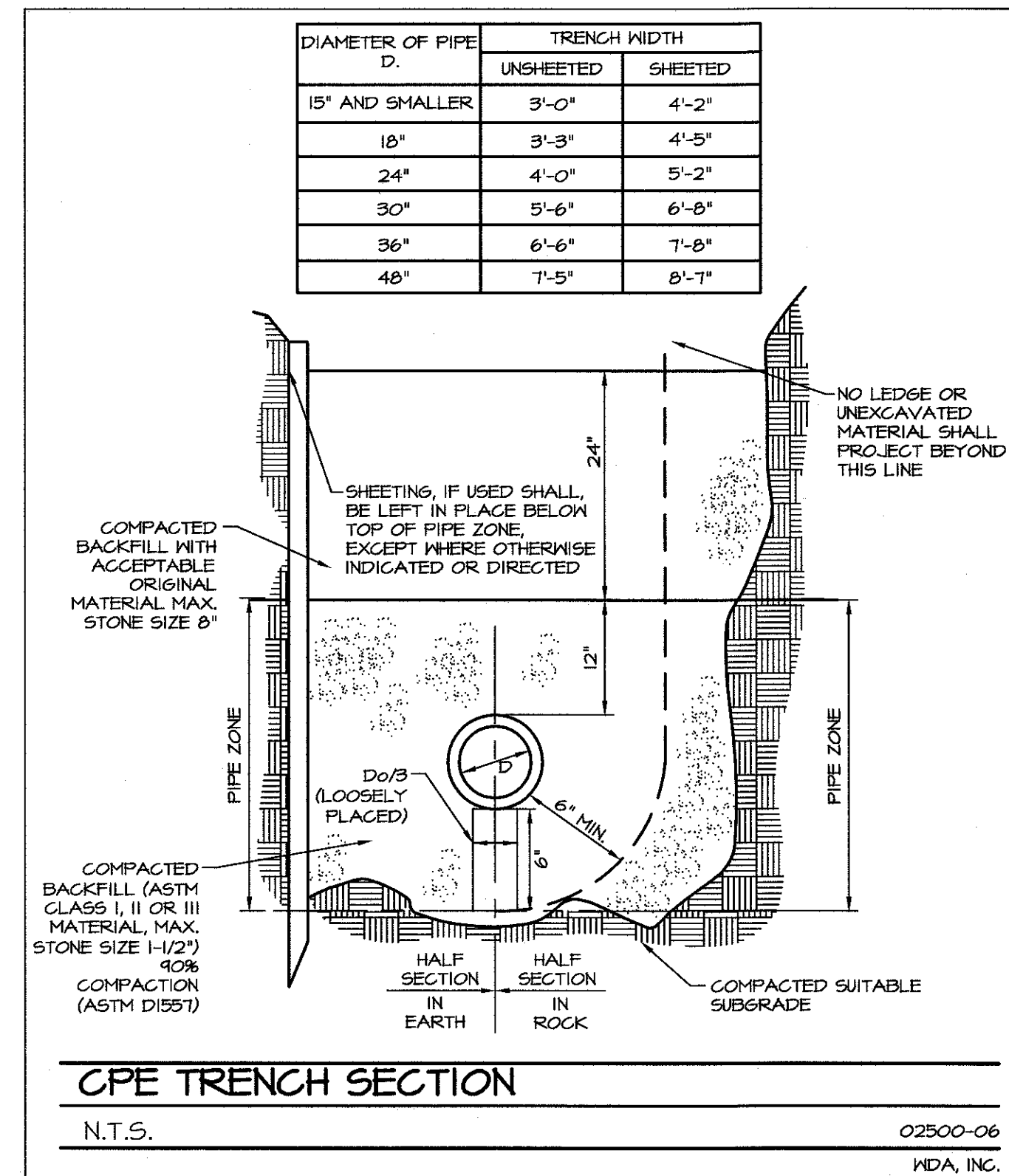
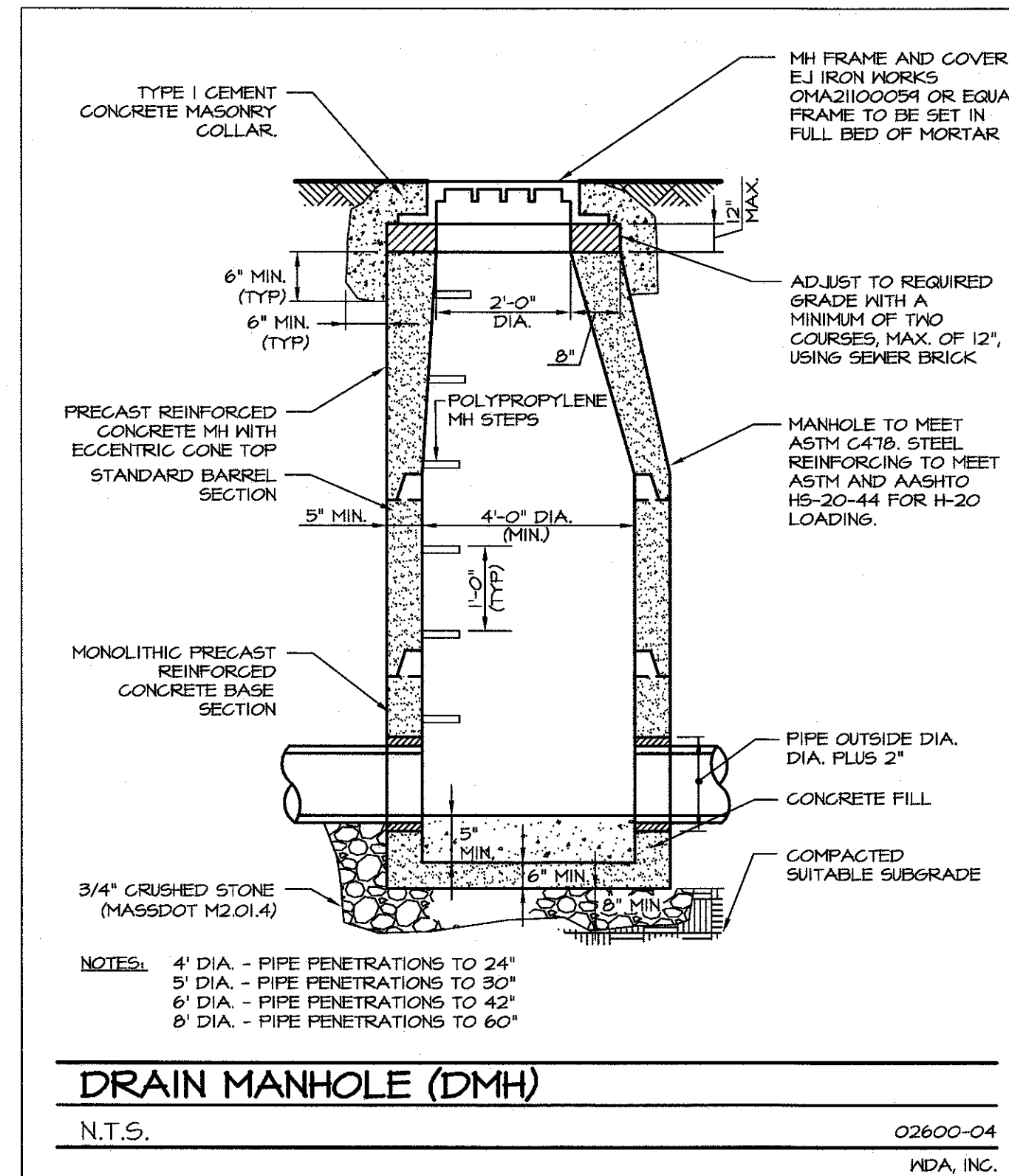
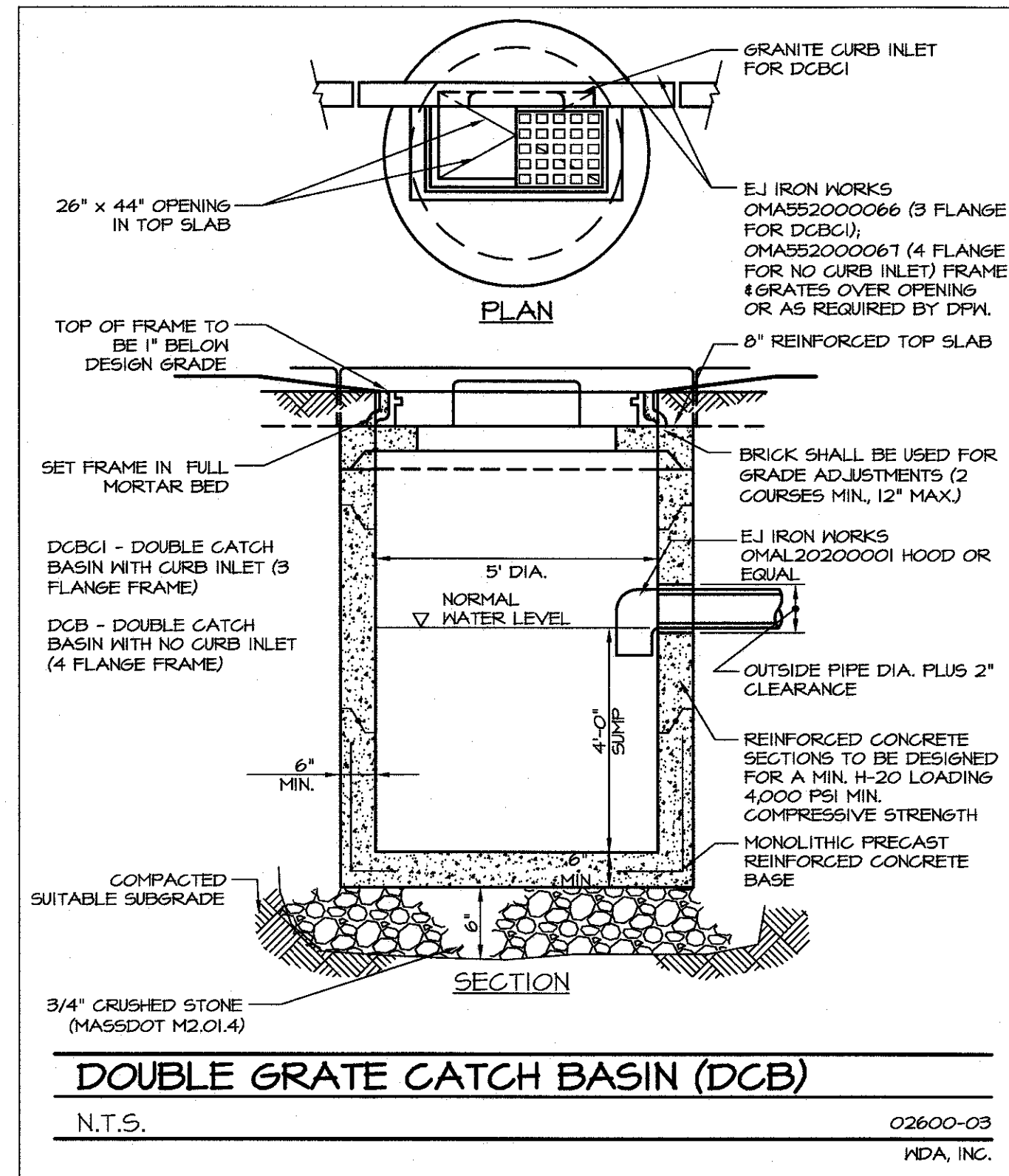
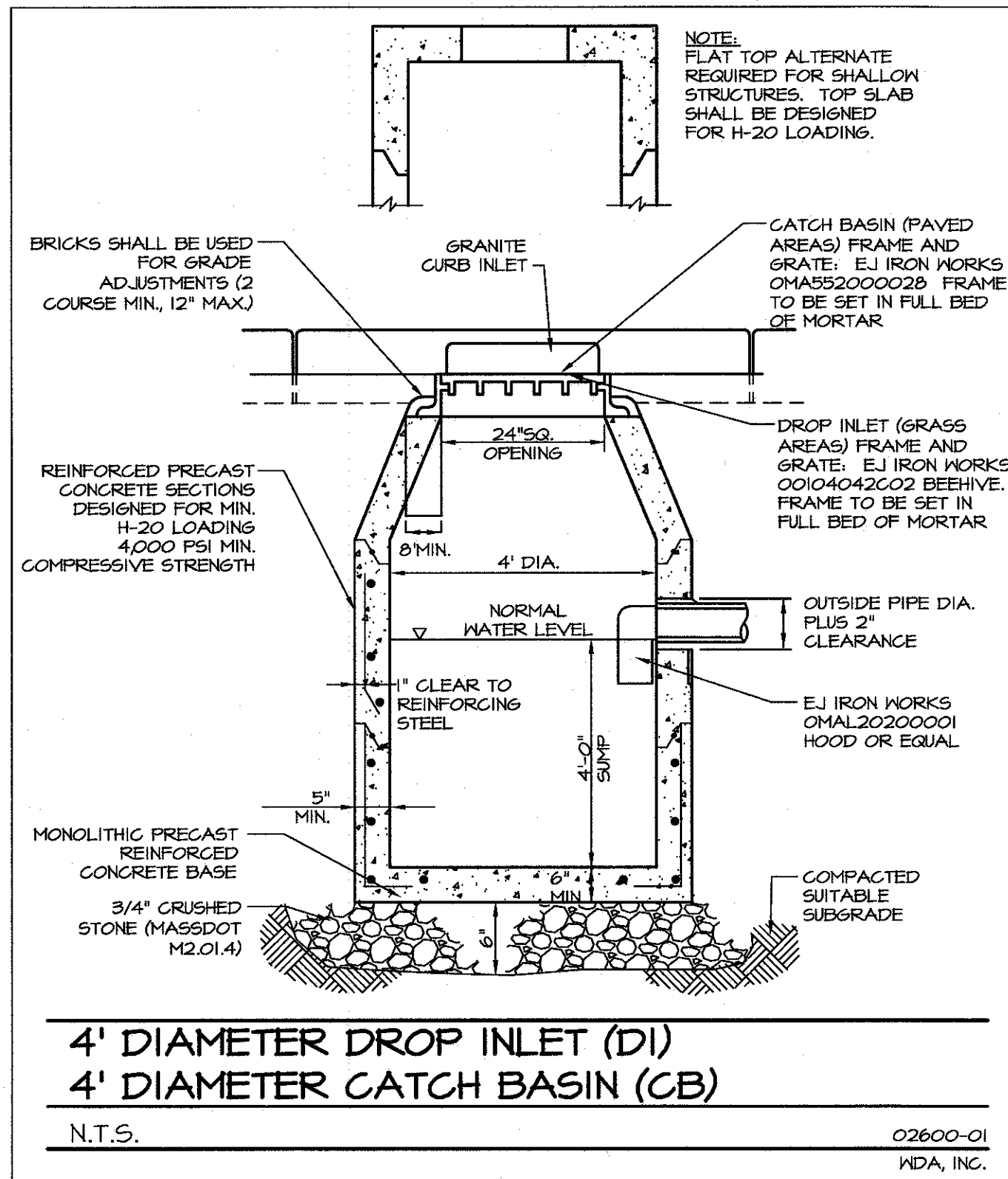
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0 1 2 3

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FILE NO.: 0978500 CHK'D. BY: _____
DRAWING NO.: 0978502A SHEET: **C6.02**

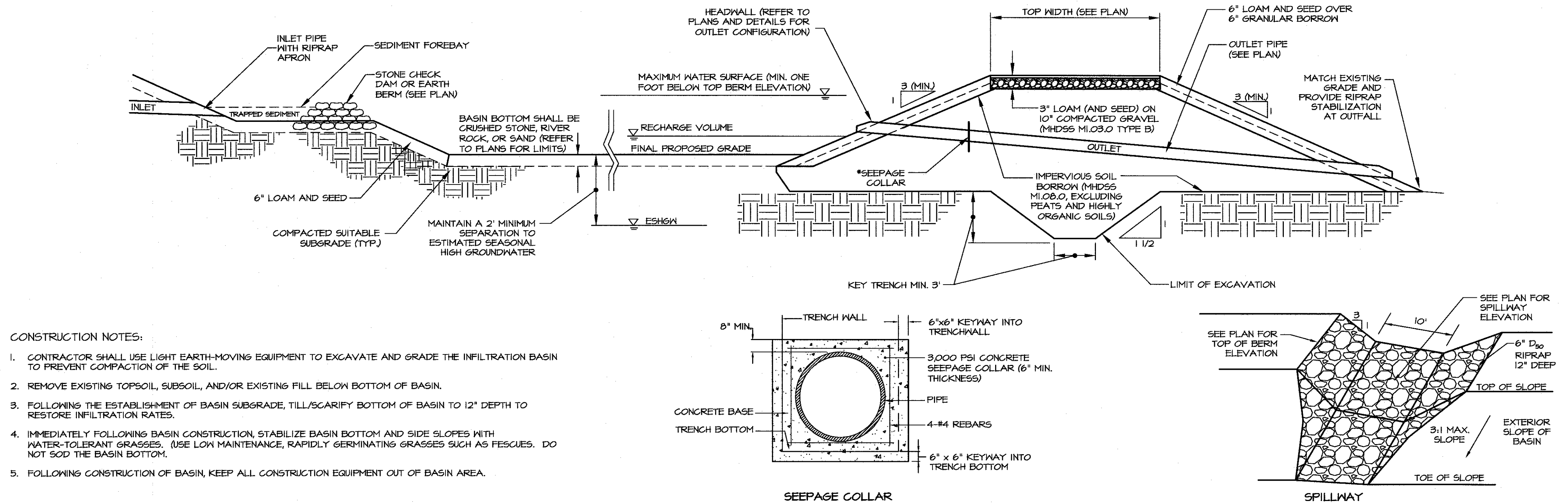
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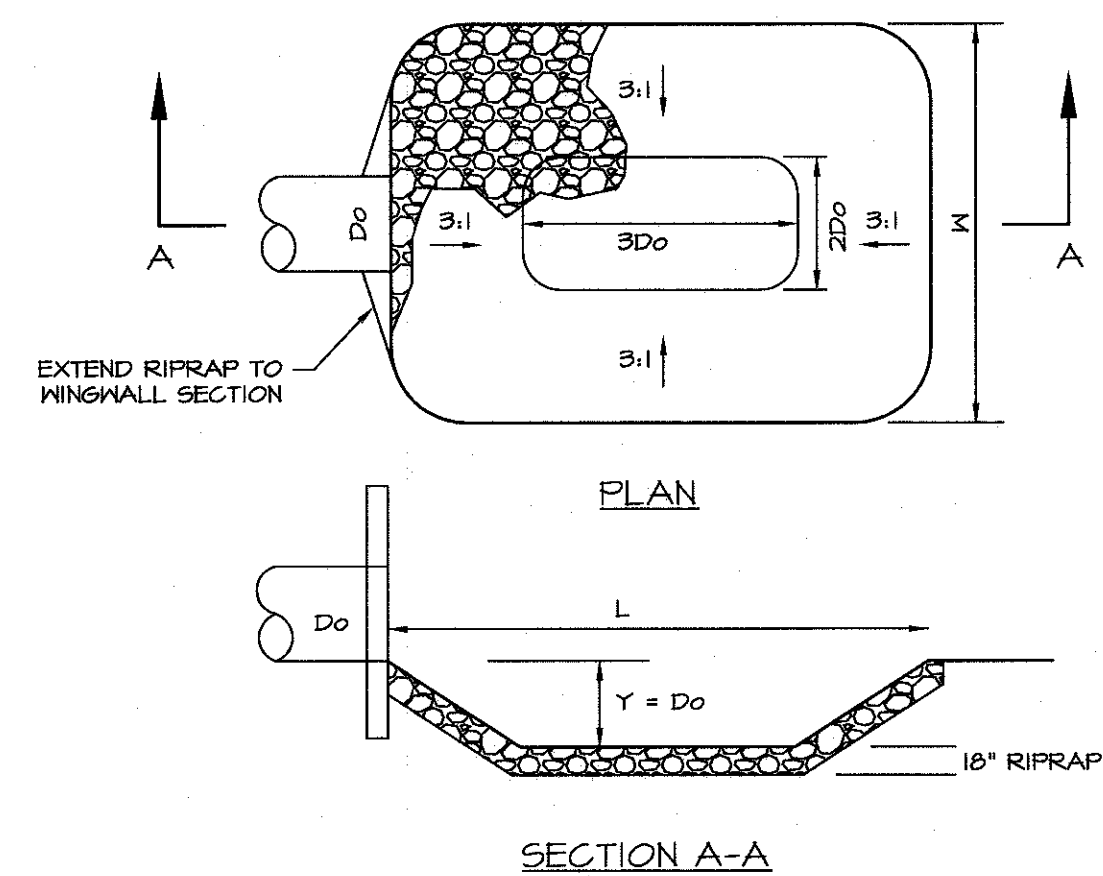
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- CONSTRUCTION NOTES:
1. CONTRACTOR SHALL USE LIGHT EARTH-MOVING EQUIPMENT TO EXCAVATE AND GRADE THE INFILTRATION BASIN TO PREVENT COMPACTION OF THE SOIL.
 2. REMOVE EXISTING TOPSOIL, SUBSOIL, AND/OR EXISTING FILL BELOW BOTTOM OF BASIN.
 3. FOLLOWING THE ESTABLISHMENT OF BASIN SUBGRADE, TILL/SCARIFY BOTTOM OF BASIN TO 12\"/>

INFILTRATION BASIN SECTION

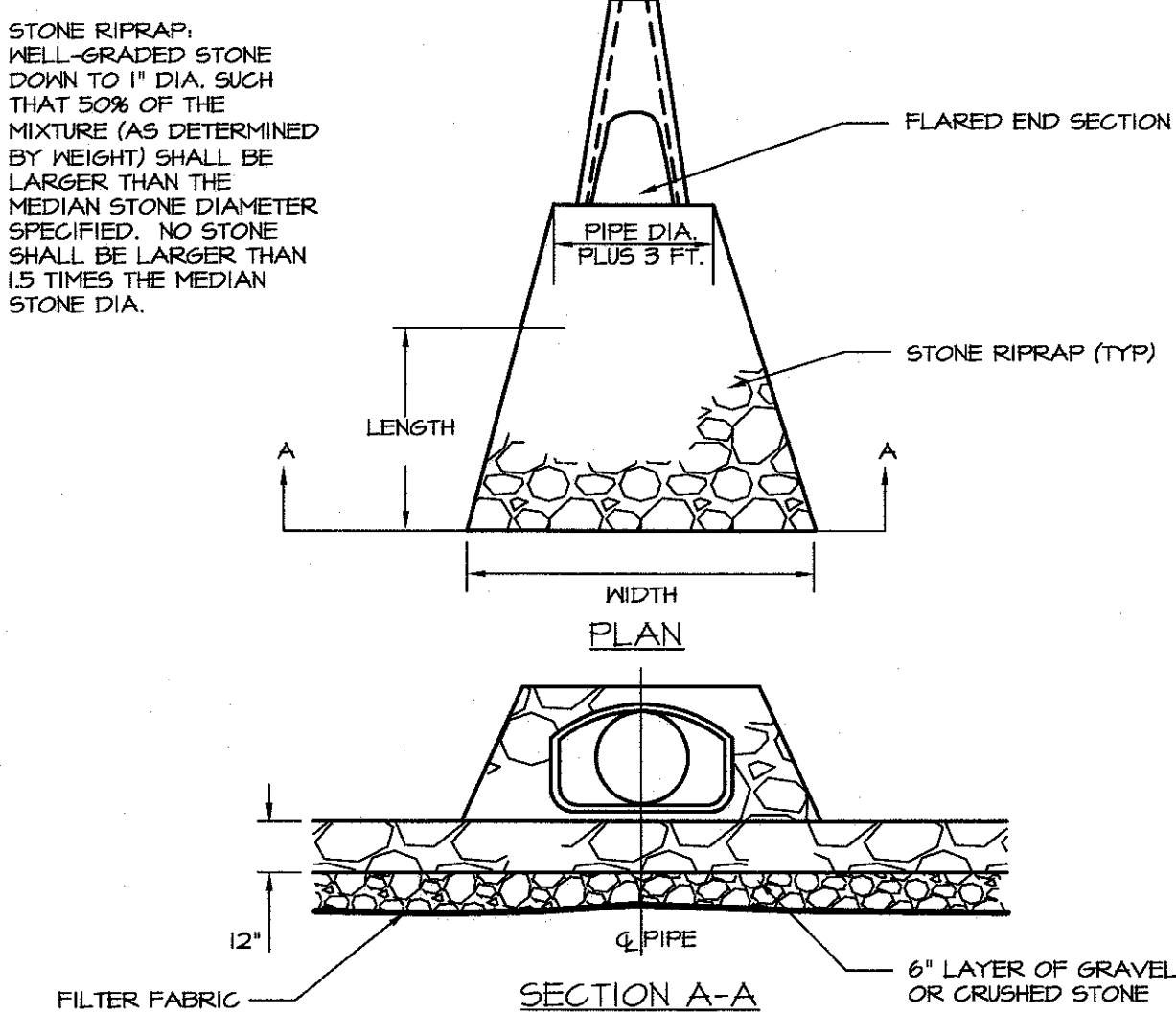
N.T.S. 02600-28 WDA, INC.



- NOTES:
- REFERENCE: STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, NJ STATE SOIL CONSERVATION COMMITTEE, NJ DEPT. OF AGRICULTURE (REV 1407).
- USE AT ALL WINGWALLS.
- MEDIAN STONE SIZE (D50) SHALL BE 4\"/>

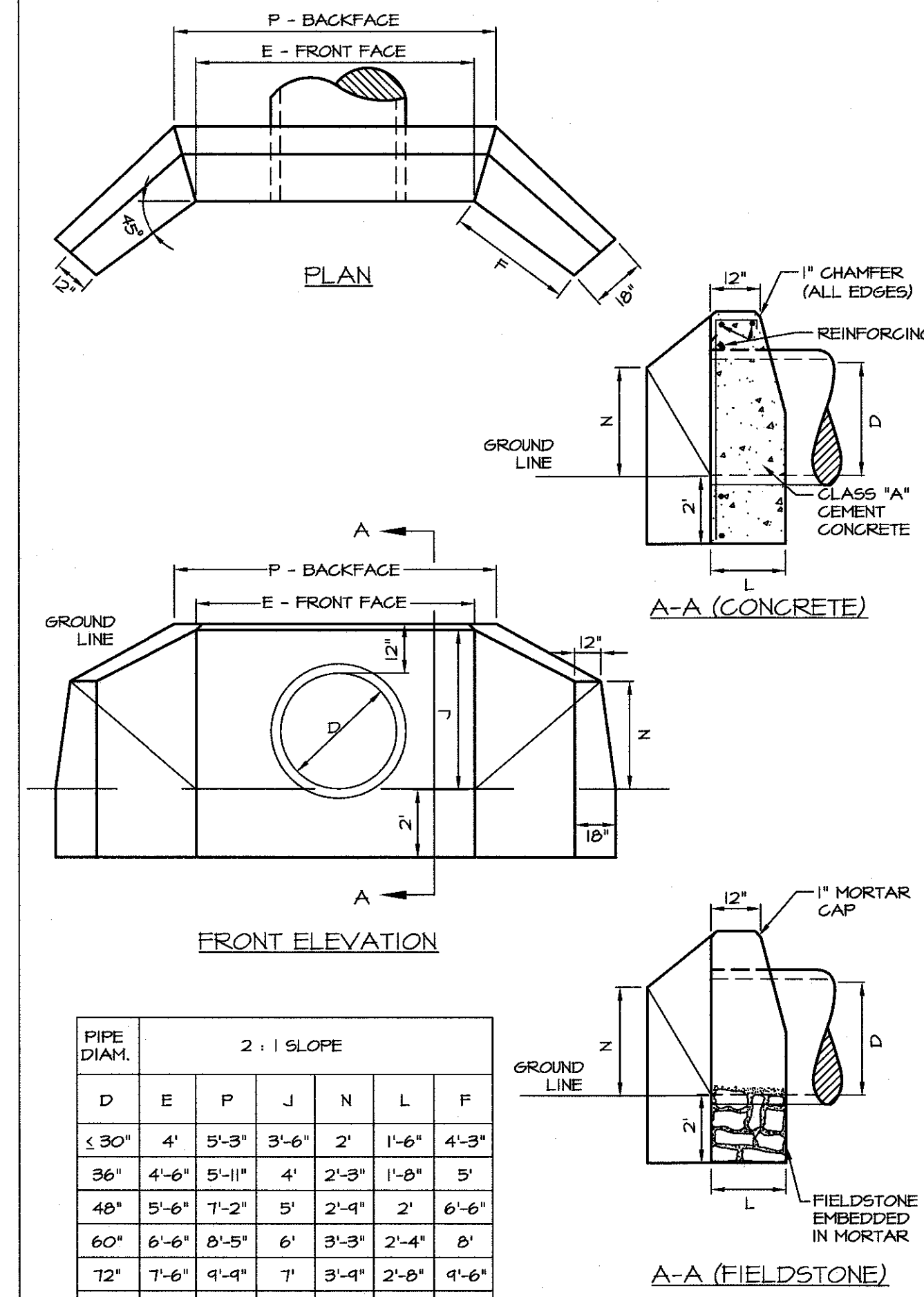
RIPRAP STILLING BASIN

N.T.S. 02600-STILLINGBASIN WDA, INC.



RIPRAP APRON

N.T.S. 02600-15 WDA, INC.



PIPE DIAM.	2 : 1 SLOPE					
D	E	P	J	N	L	F
≤ 30"	4'	5'-3"	3'-6"	2'	1'-6"	4'-3"
36"	4'-6"	5'-11"	4'	2'-3"	1'-8"	5'
48"	5'-6"	7'-2"	5'	2'-4"	2'	6'-6"
60"	6'-6"	8'-5"	6'	3'-3"	2'-4"	8'
72"	7'-6"	9'-4"	7'	3'-4"	2'-8"	9'-6"
84"	8'-6"	11'	8'	4'-3"	3'	11'

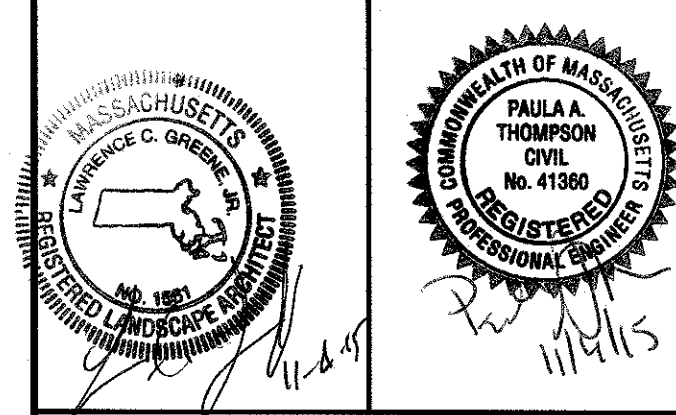
- NOTES:
1. FOR DESCRIPTIONS, MATERIALS, AND CONSTRUCTION METHODS, SEE LATEST MHDSS.
 2. ALL CONCRETE DIMENSIONS SHOWN ARE MINIMUM.
 3. ALL REINFORCING TO BE #3 BARS AT 12\"/>

HEADWALL WITH WINGWALLS (WW)

N.T.S. 02600-41 WDA, INC.

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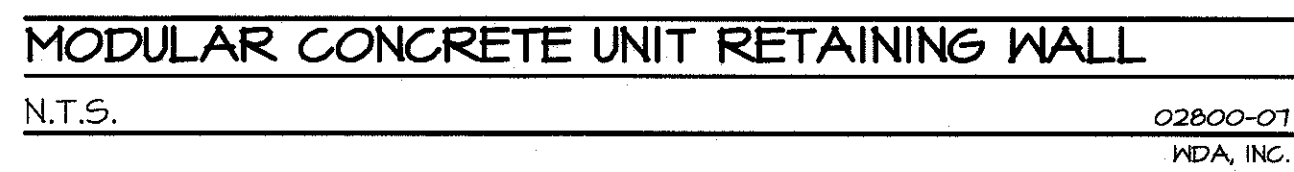
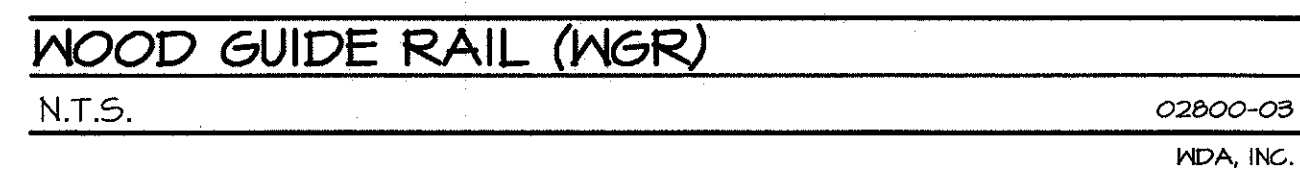
WATERMAN DESIGN ASSOCIATES, INC.
 31 East Main Street
 Westborough, MA 01581
 508.366.6552
 508.366.6506 (fax)
 watermandesign.com wda@wdassoc.com

OWNER:
PARK CENTRAL LLC
 c/o Capital Group Properties
 295 Turnpike Road, Suite 100
 Southborough, MA 01772

PREPARED FOR:
CAPITAL GROUP PROPERTIES LLC
 295 Turnpike Road, Suite 100
 Southborough, MA 01772

TITLE:
SITE DETAILS
PARK CENTRAL
 Southborough, MA
 Worcester County)

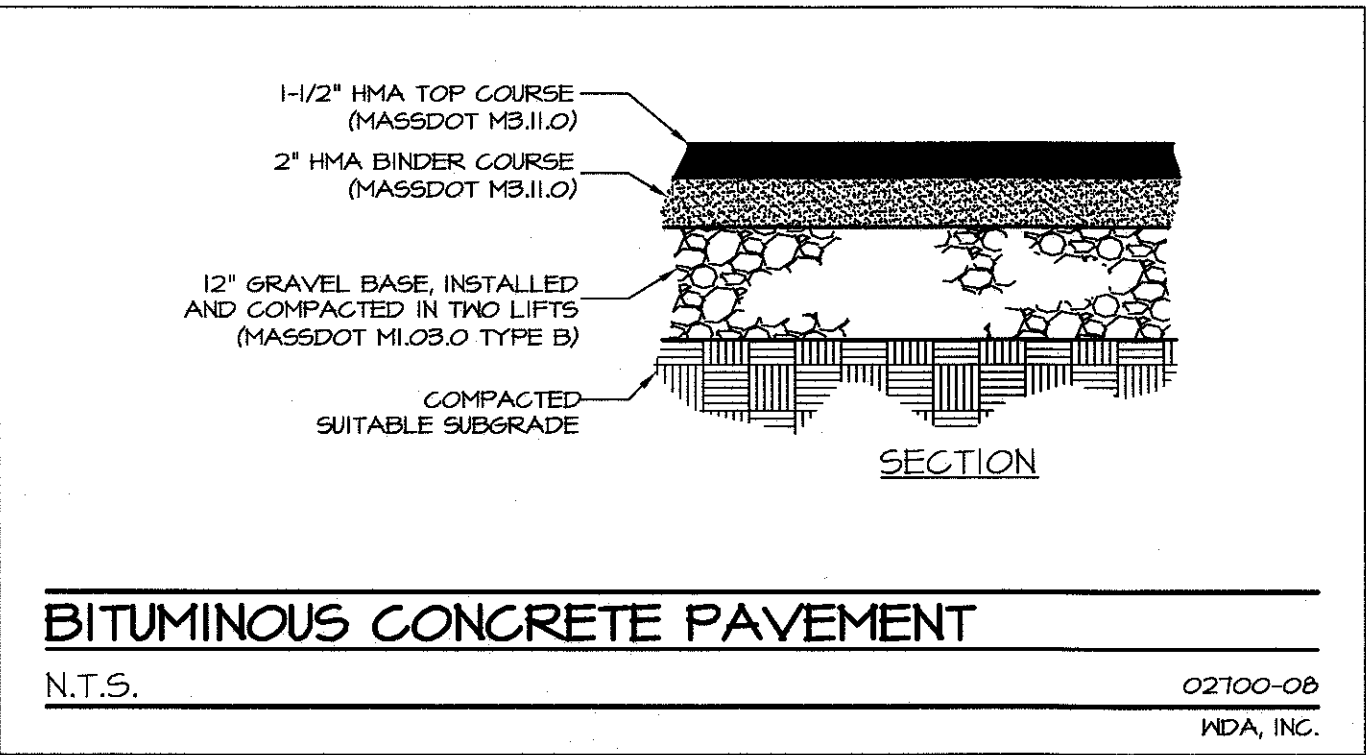
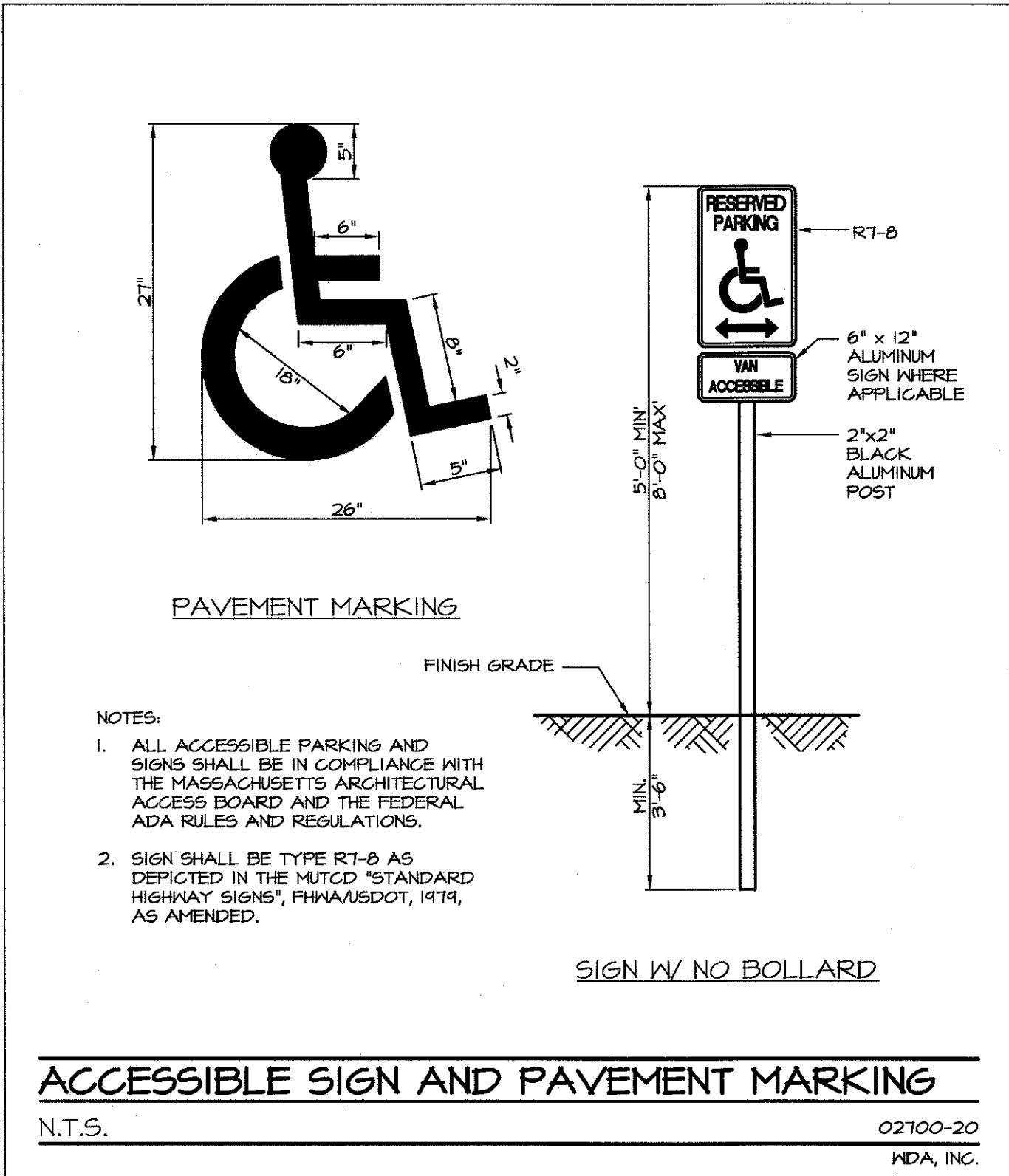
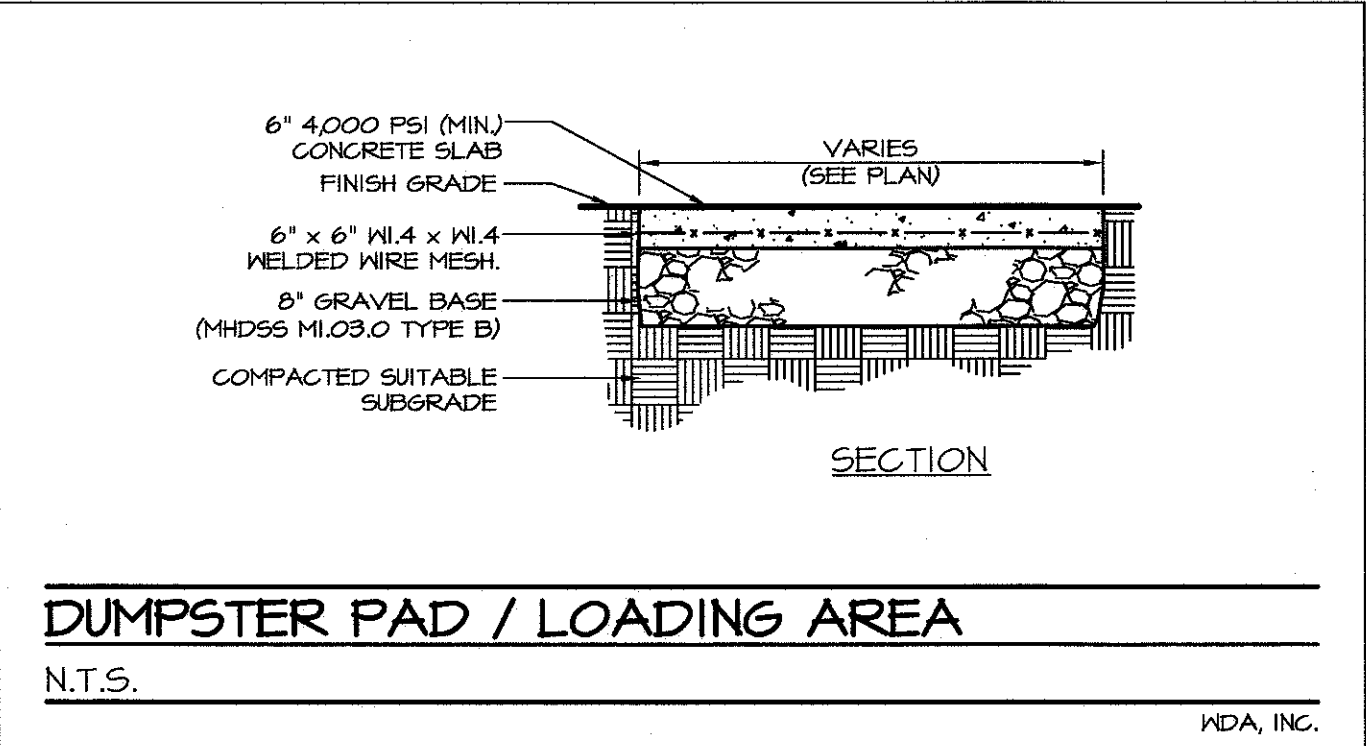
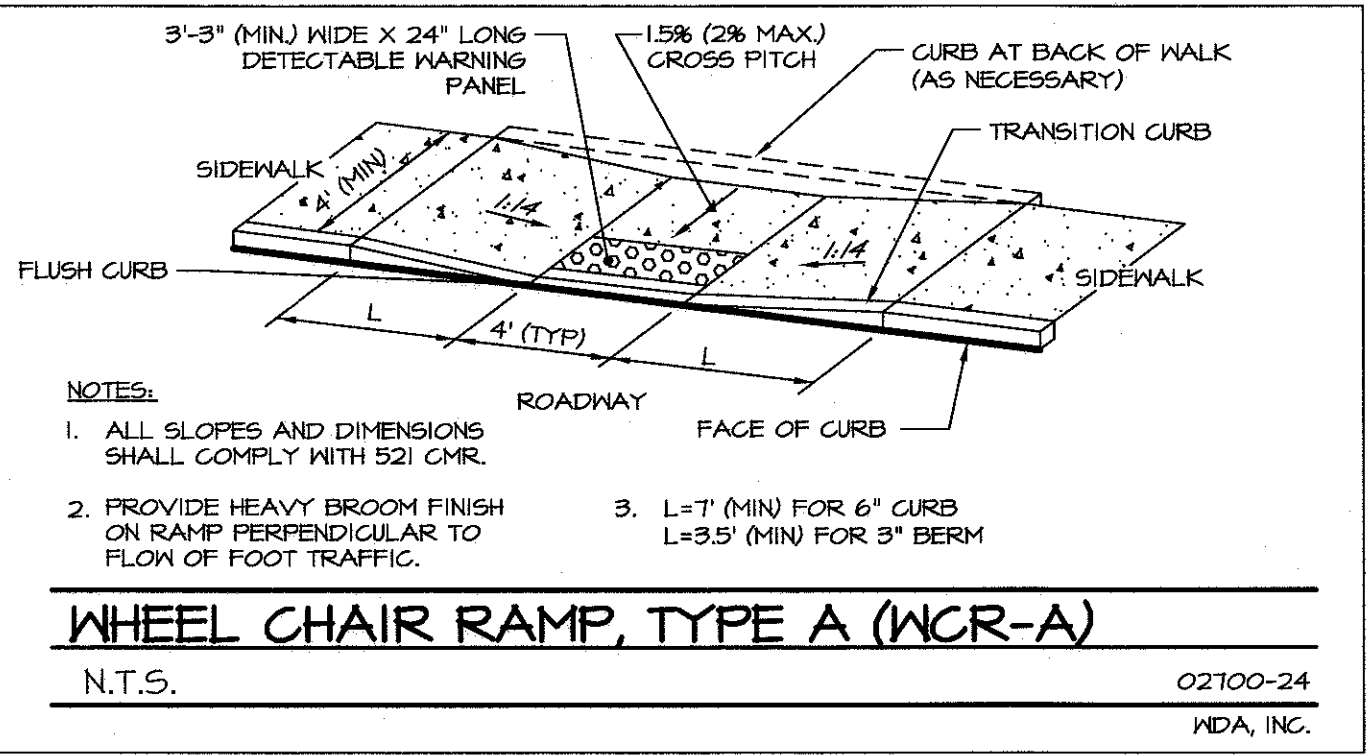
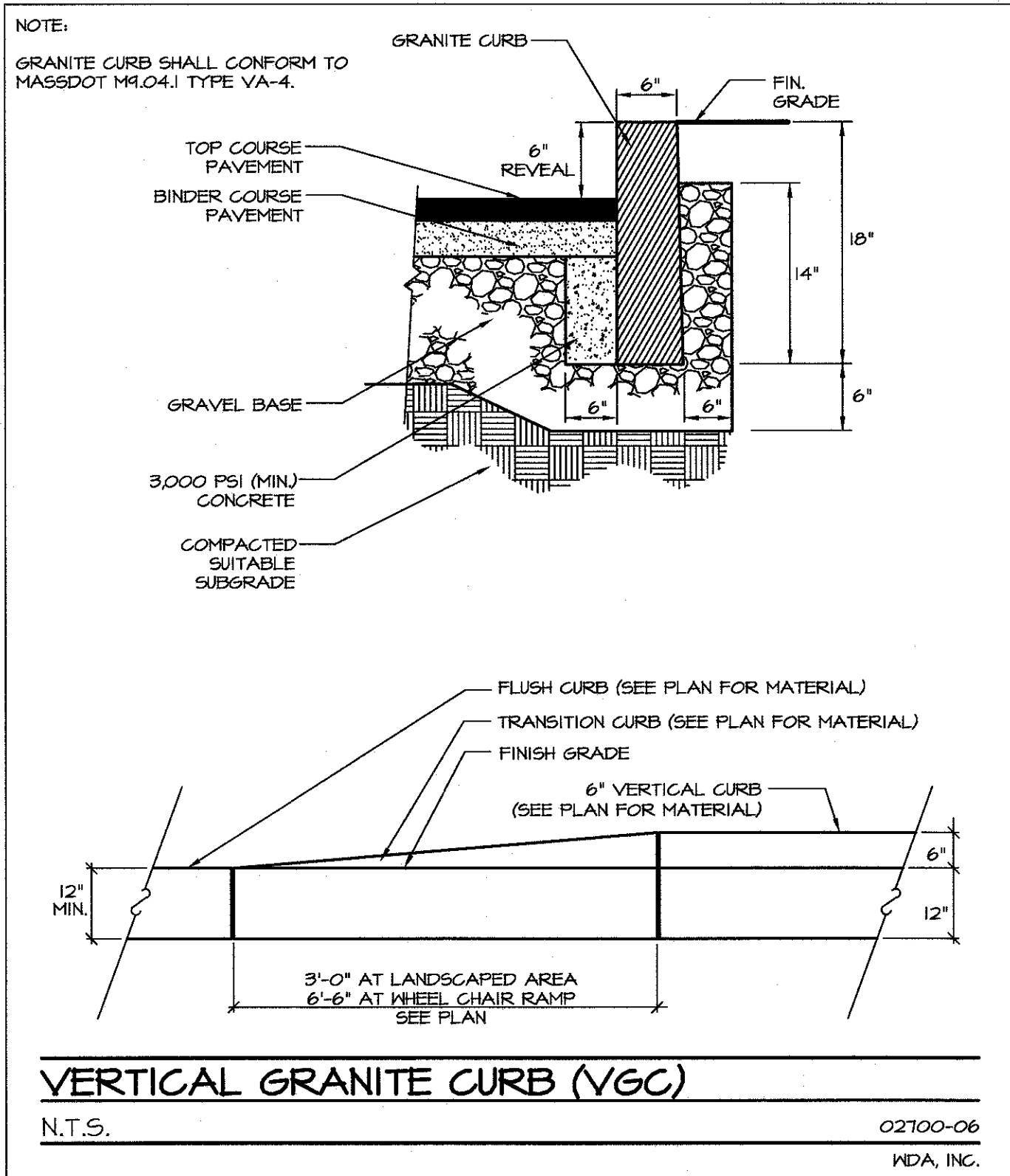
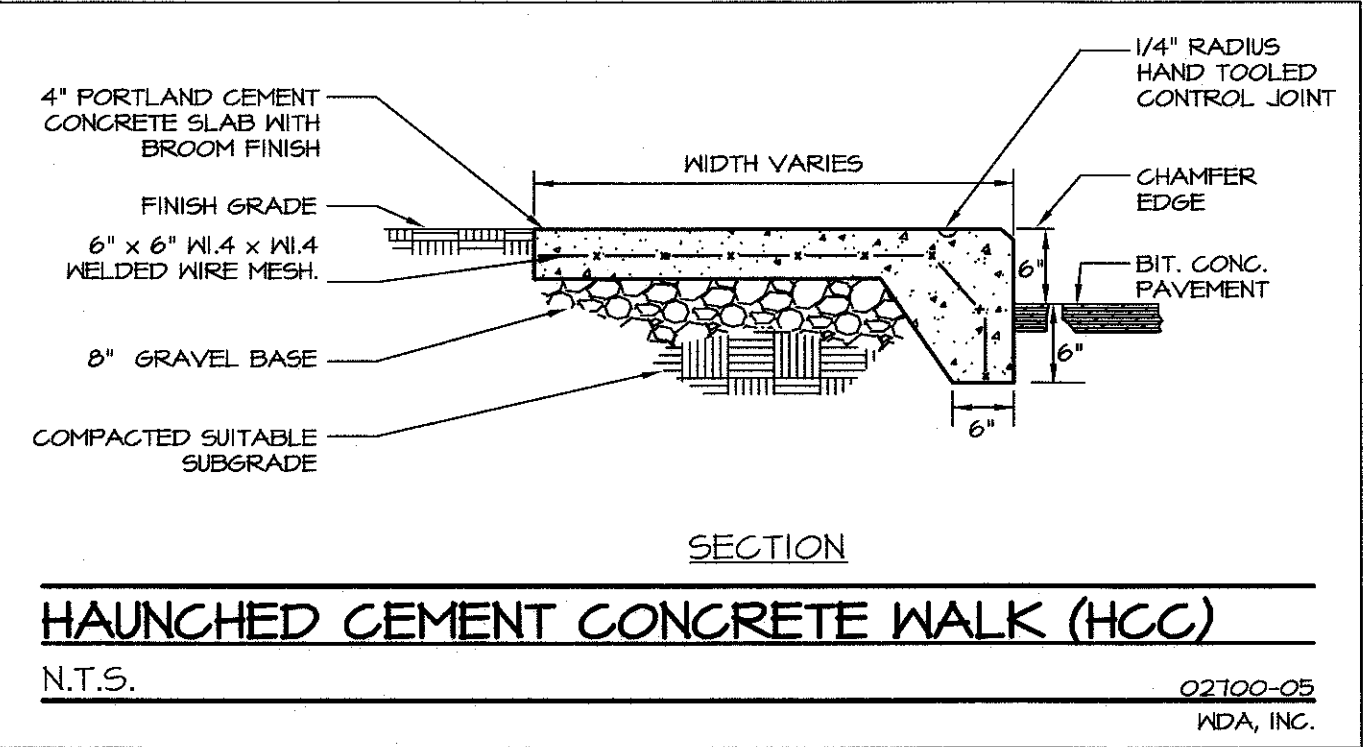
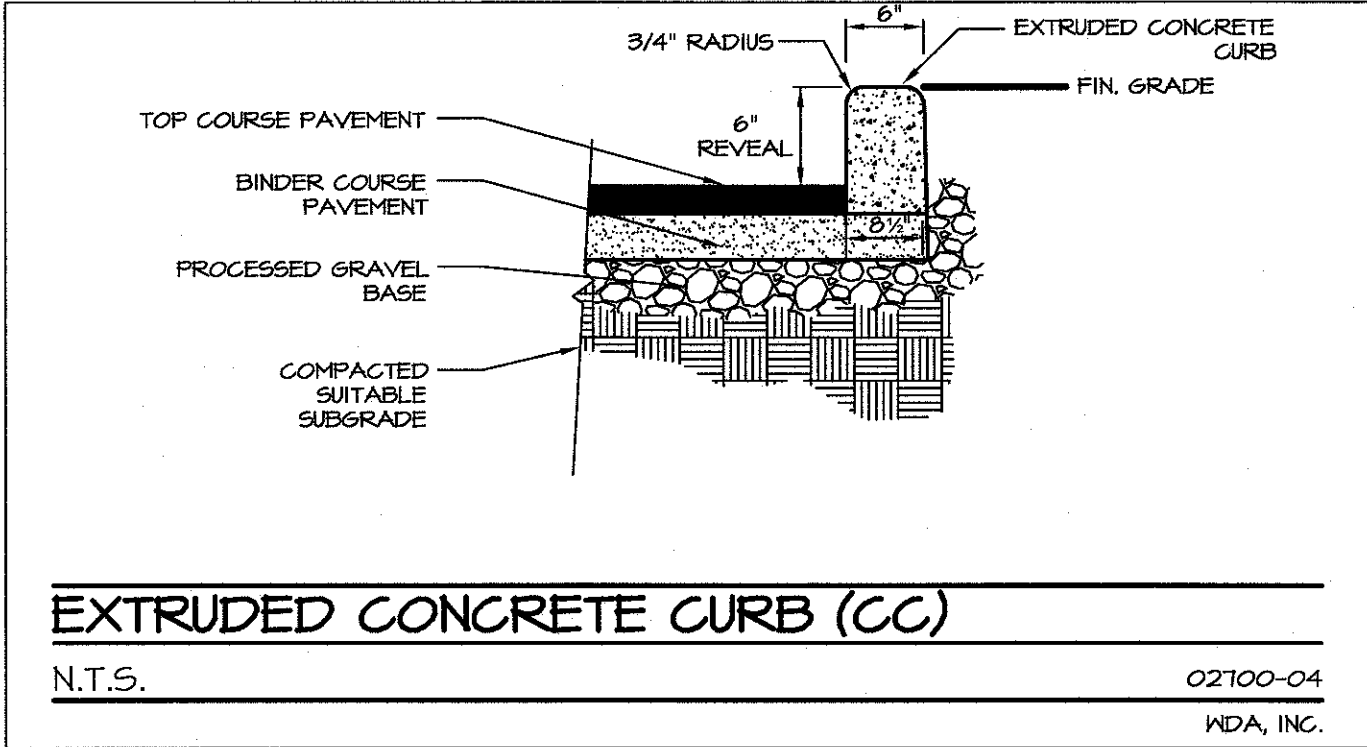
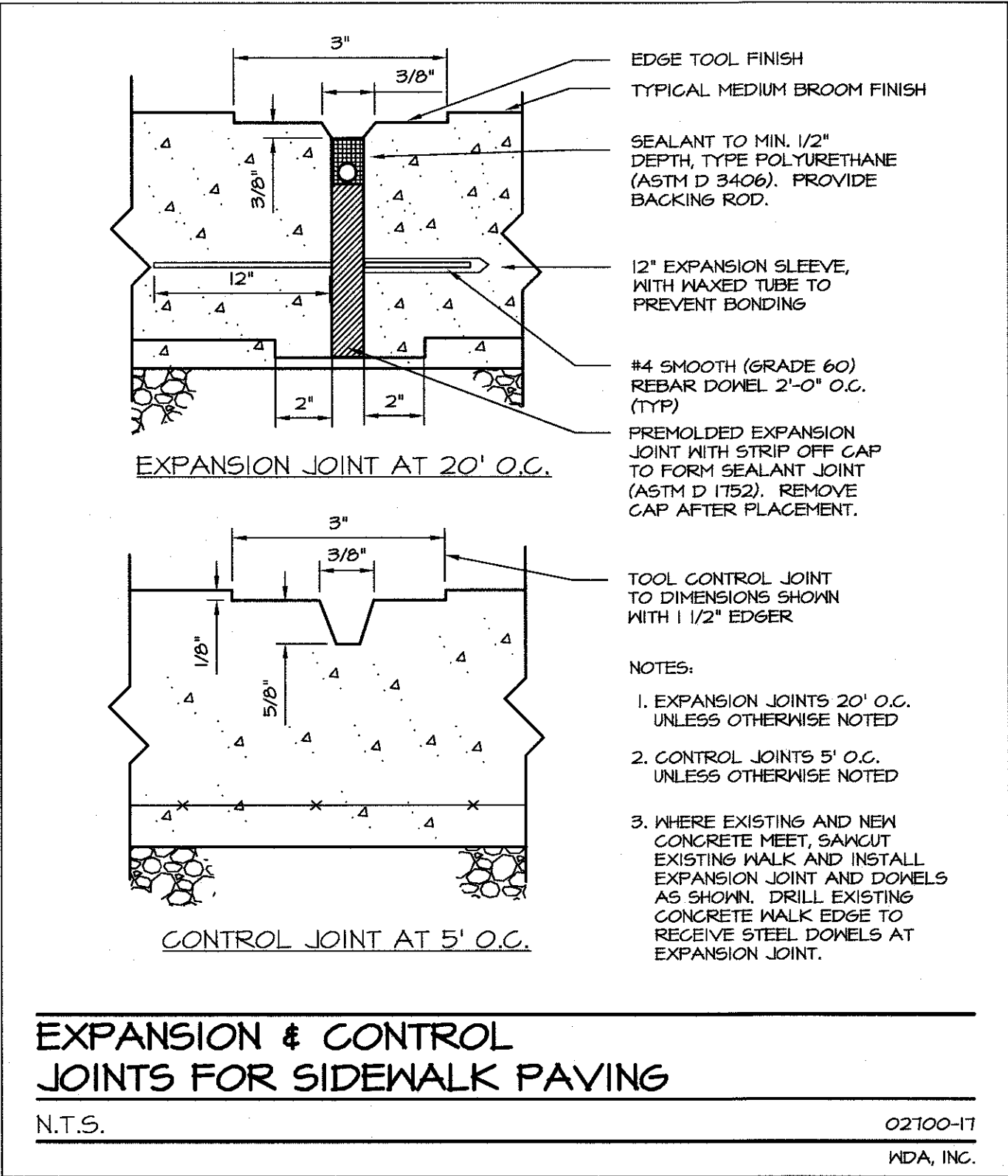
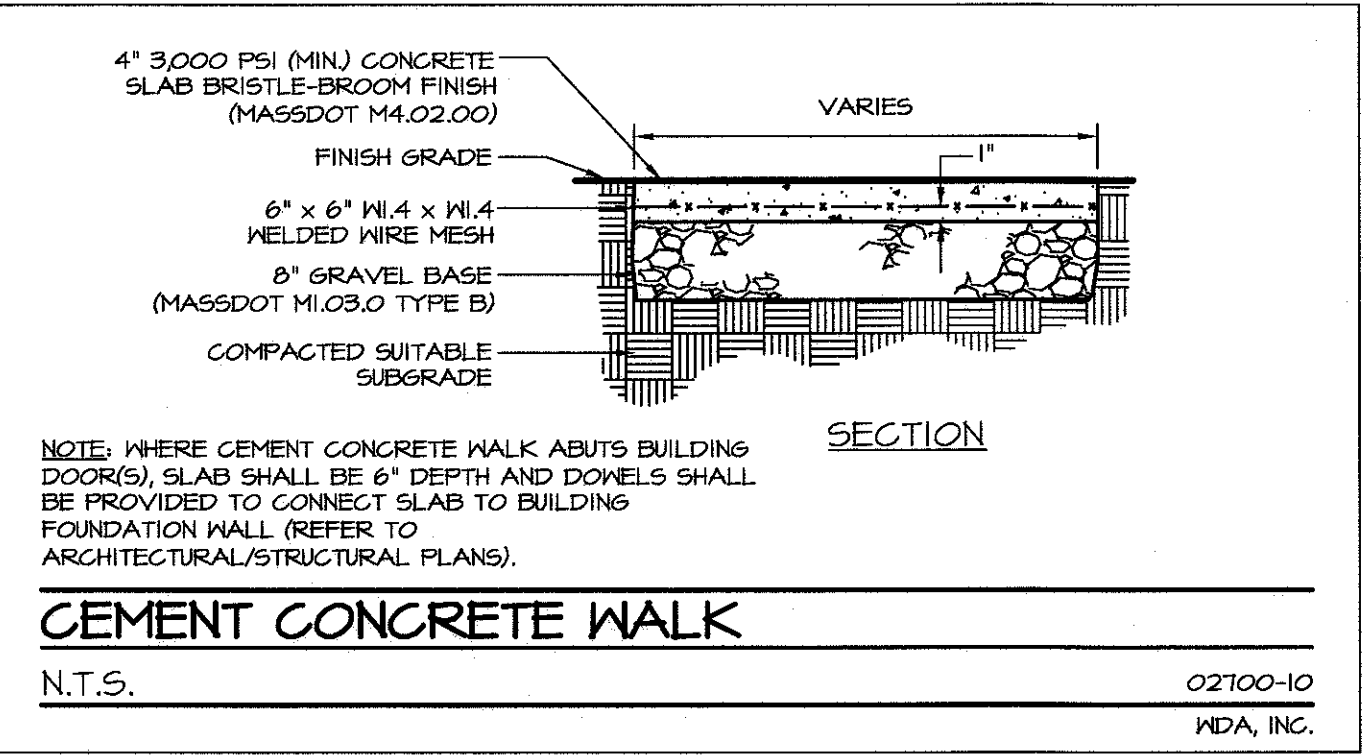
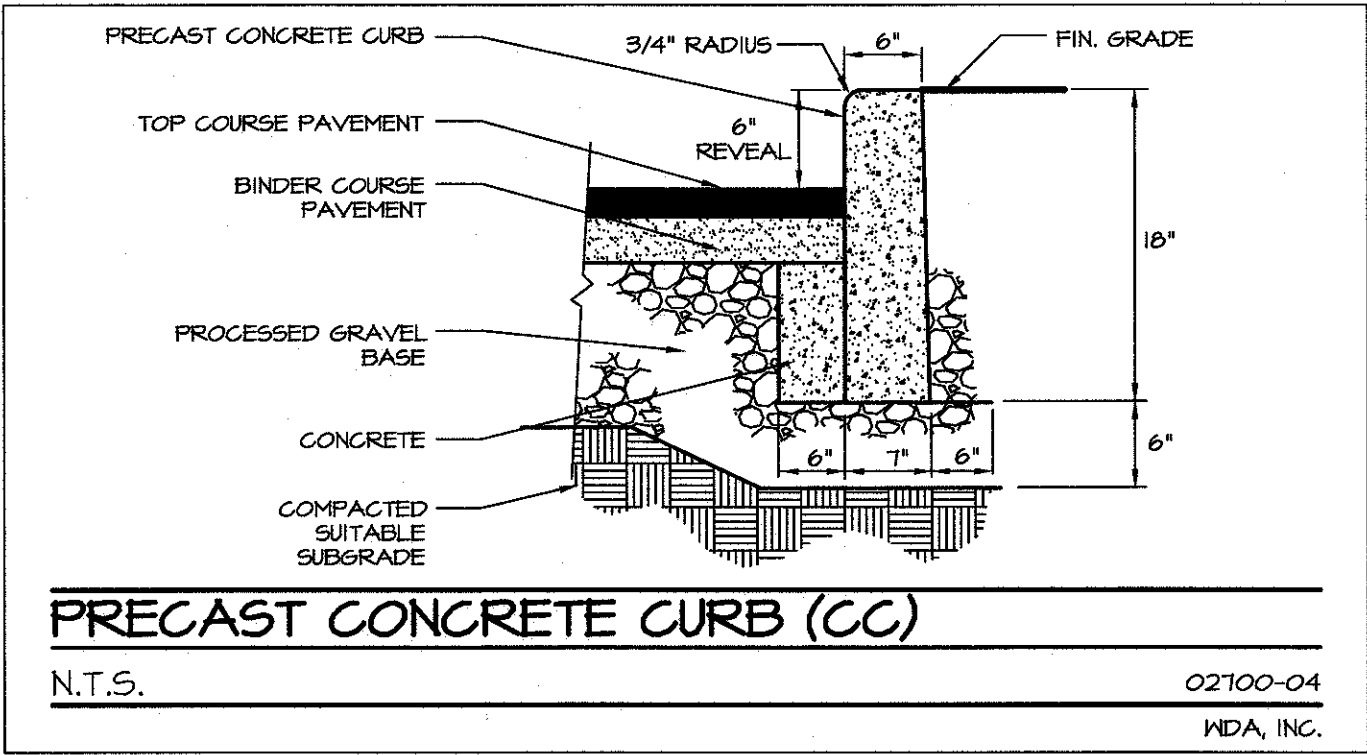
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DATE: 11/04/15	SCALE: AS NOTED
JOB NO.: 0978.00	DWN. BY: _____
FILE NO.: 0978500	CHK'D. BY: _____
DRAWING NO.: 0978503A	SHEET: C6.03



	
DATE: 11/04/15	SCALE: AS NOTED
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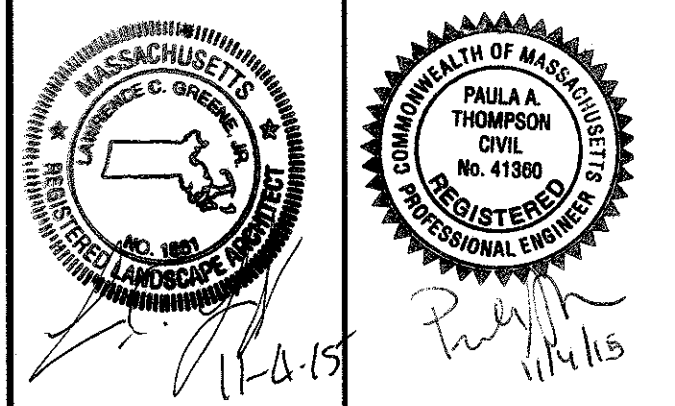


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508.366.6552
508.366.6506 (fax)
watermandesign.com wda@wdassoc.com

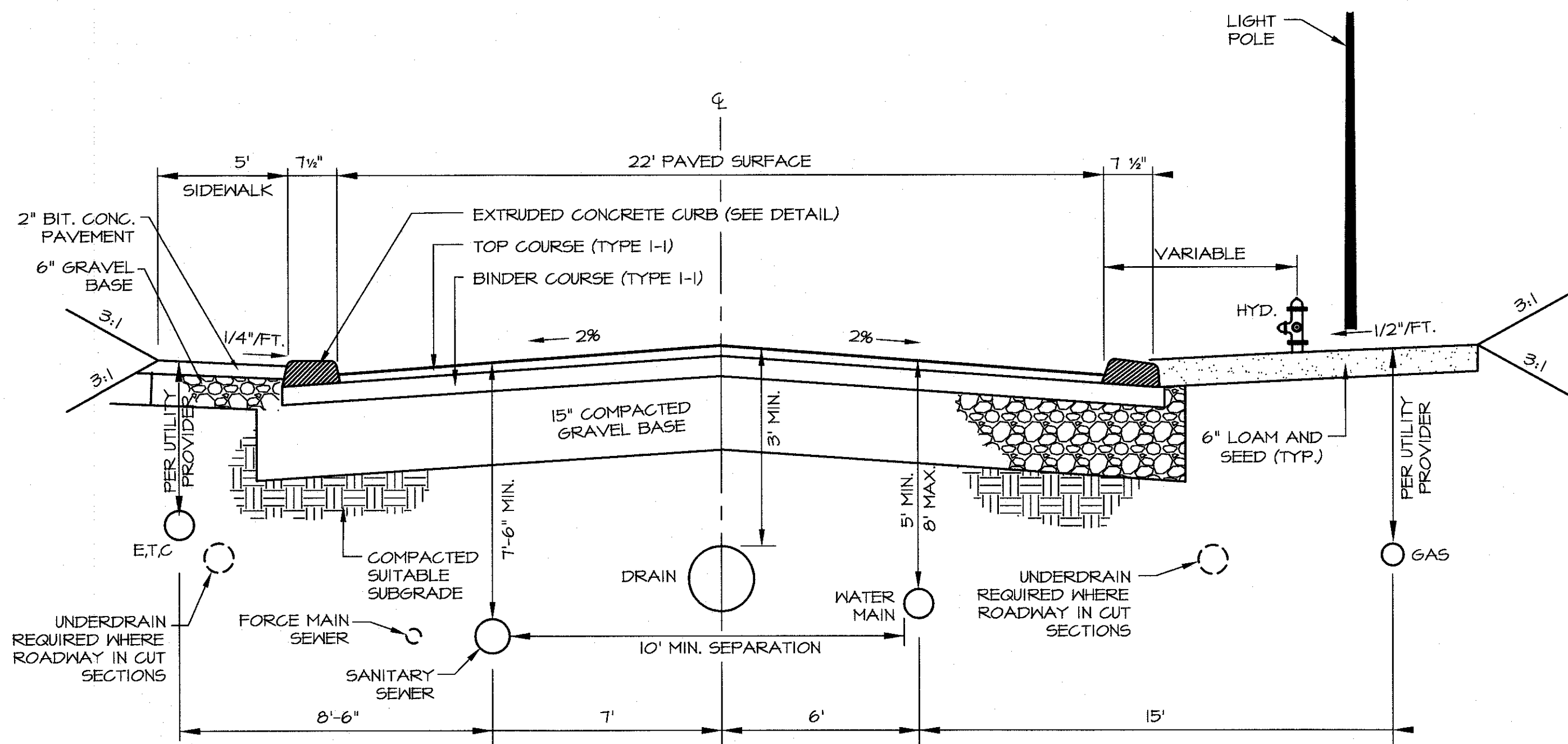
OWNER: **PARK CENTRAL LLC**
c/o Capital Group Properties
295 Turnpike Road, Suite 100
Southborough, MA 01772

PREPARED FOR: **CAPITAL GROUP PROPERTIES LLC**
295 Turnpike Road, Suite 100
Southborough, MA 01772

TITLE: **SITE DETAILS**
PARK CENTRAL
Southborough, MA
Worcester County)
TOWN PERMITTING

DATE:	11/04/15	SCALE:	AS NOTED
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FILE NO.:	0978500	CHK'D. BY:	
DRAWING NO.:	0978505A	SHEET:	C6.05

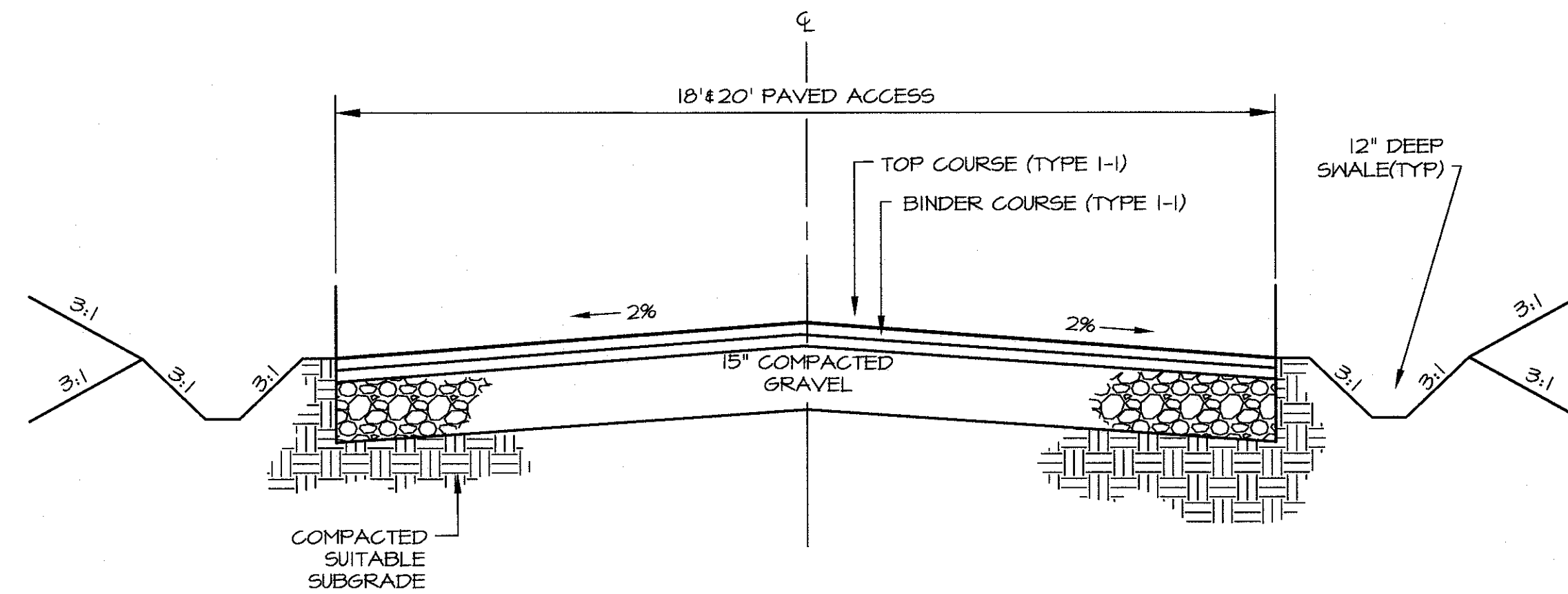
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STREET TREES ARE REQUIRED AT 40-FOOT INTERVALS ALONG THE ROADWAY ON BOTH SIDES

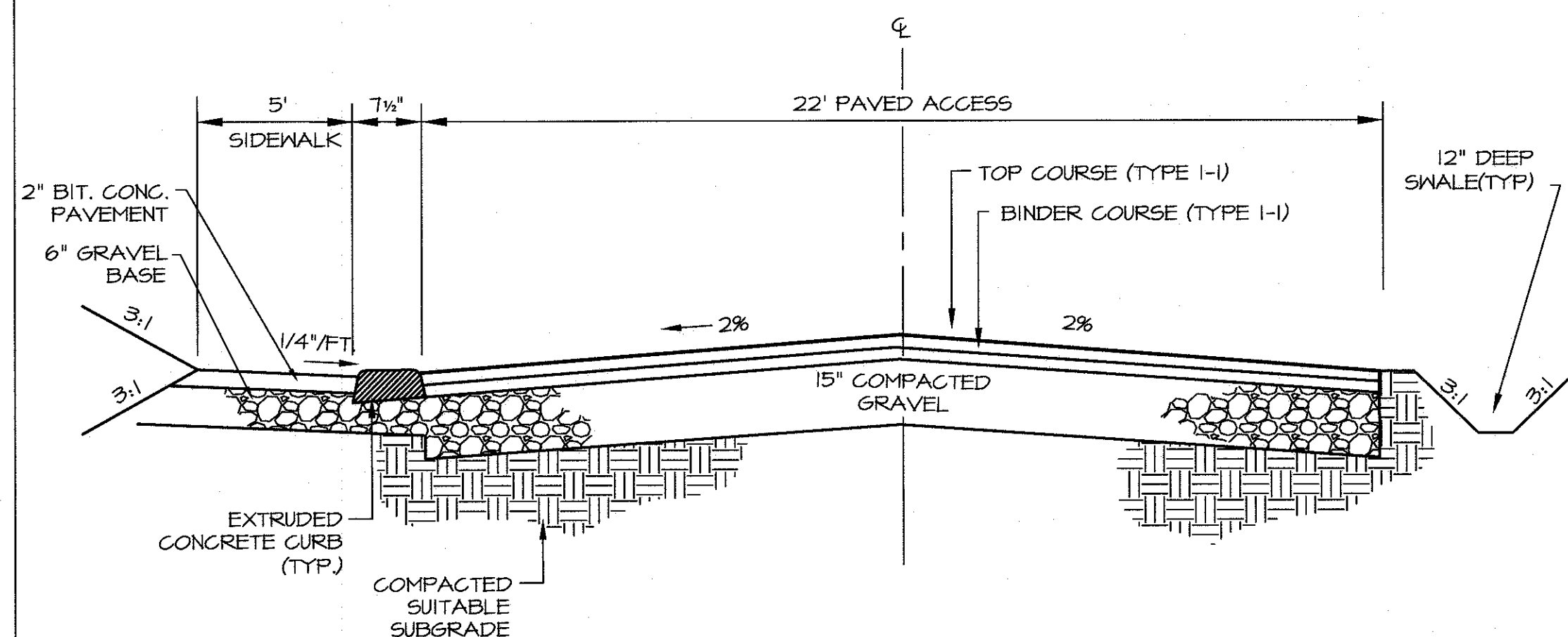
22' DRIVEWAY SECTION-SEE GRADING PLAN

NOT TO SCALE



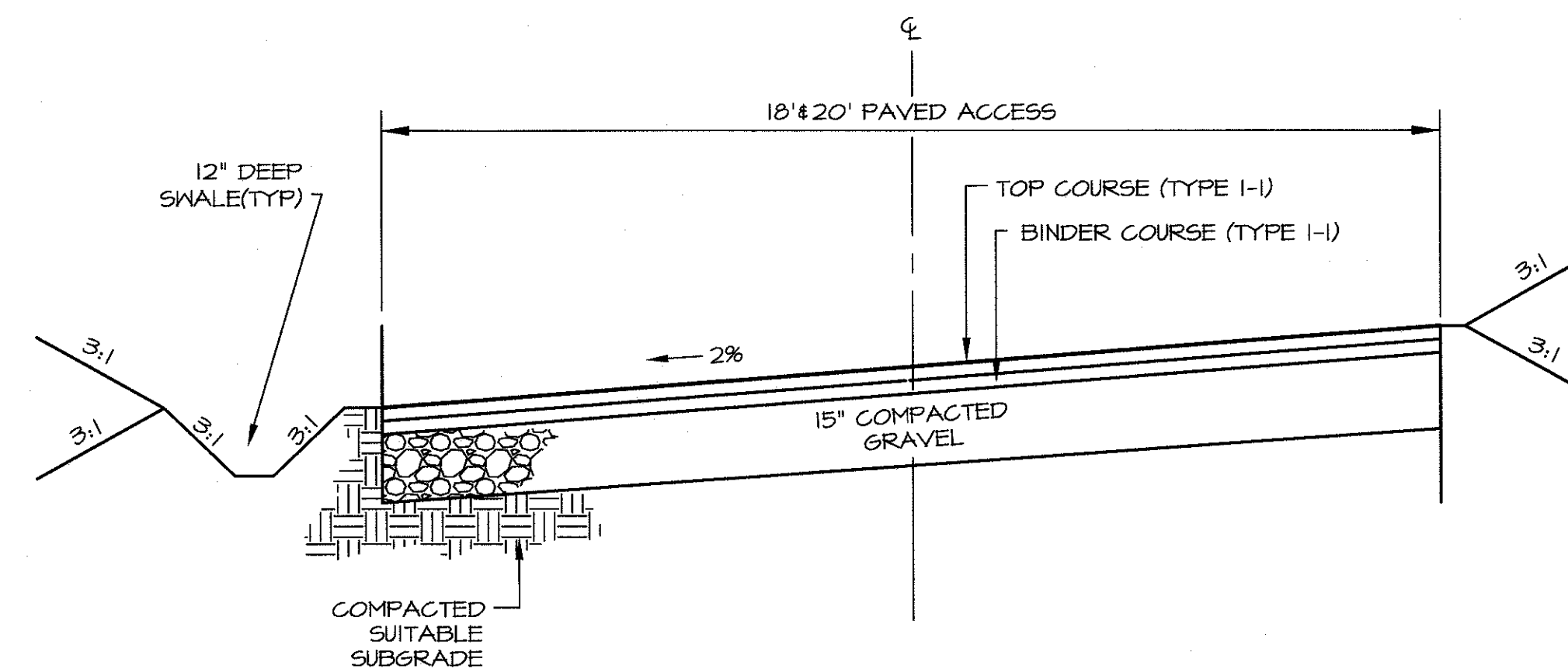
18'x20' DRIVEWAY SECTION-SEE GRADING PLAN

NOT TO SCALE



22' DRIVEWAY SECTION-SEE GRADING PLAN

NOT TO SCALE



18'x20' DRIVEWAY SECTION-SEE GRADING PLAN

NOT TO SCALE

MUTCD REFERS TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 1988 EDITION (AS AMENDED) AND/OR STANDARD HIGHWAY SIGNS, 1978 (AS AMENDED), BOTH ISSUED BY THE USDOT/FHWA.

AASHTO REFERS TO AASHTO STANDARD SPECIFICATIONS FOR TRANSPORTATION MATERIALS AND METHODS OF SAMPLING AND TESTING, PART 1 - SPECIFICATIONS, TWENTIETH EDITION (AS AMENDED), 1982 (AS AMENDED).

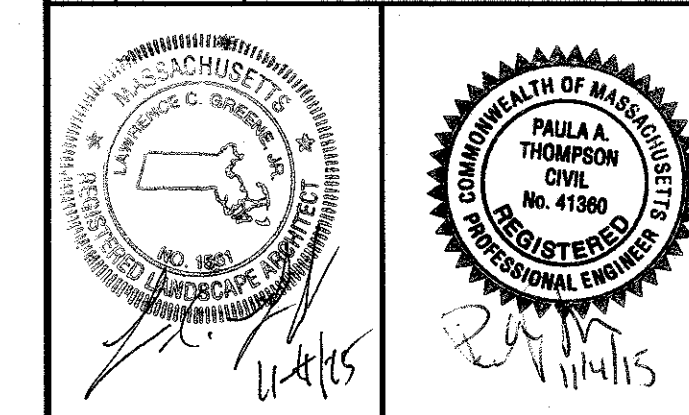
MHDS REFERS TO MASS. HIGHWAY DEPT. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1982 (AS AMENDED).

DPW REFERS TO LOCAL DEPARTMENT OF PUBLIC WORKS.

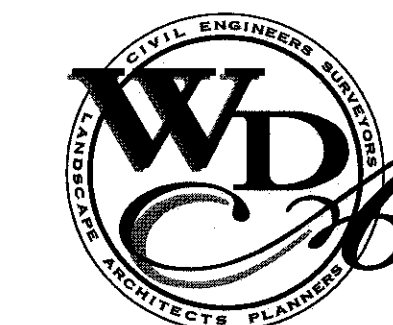
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